

WELDON AUDITORIUM RENOVATIONS

CONTACTS

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Manning, SC 29102

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CODE NOTES

This scope of work shall maintain code compliance with the following codes as adopted by the South Carolina Building Codes Council:

- 2021 South Carolina Building Code or the 2021 International Building Code with SC modifications
- 2021 South Carolina Fire Code or the 2021 International Fire Code with SC modifications
- 2021 South Carolina Plumbing Code or the 2021 International Plumbing Code with SC modifications
- 2021 South Carolina Mechanical Code or the 2021 International Mechanical Code with SC modifications
- 2021 South Carolina Fuel Gas Code or the 2021 International Fuel Gas Code with SC modifications
- 2020 National Electrical Code (NFPA 70) with SC modifications
- 2021 International Existing Building Code

2009 International Energy Conservation Code (Energy Standard Act) or the 2009 Energy Conservation Code of South Carolina
ANSI A117.1 2017 Edition - Accessible & Usable Buildings & Facilities
Federal Emergency Management Agency (FEMA)

PROJECT DATA

1. General Information:

Address: 7 Maple St.
Manning, SC 29102

TMS number(s): 170-13-07-001-00
Flood Zone: X - outside the 0.2% annual chance floodplain (FEMA Flood Panel 45027C0254C)

Zoning Class: EXCG - Exempt County Government
Site Area: 3.99 Acre (174,004 sf)

2. **Site & Property Information** taken from a 3D scan of the site performed by Meadors Inc. on 09/08/2023 and survey dated 1/31/2006 by Robert G. Mathis Land Surveying. Courtyard survey performed 08.16.2024 by GEL Engineering, LLC

3. **Zoning Requirements: N/A *No new construction outside existing footprint**

Rear Setback: N/A
Side Setbacks: N/A
Front Setback: N/A
Building Height: N/A
Accessory Building Side & Rear Setback: N/A
Accessory Building Front Setback: N/A
Max. Building Coverage: N/A

4. **Building Information:**

Mixed Use and Occupancy: Assembly, Business
Construction Type: III-B

5. **Building Size:**

Existing Lot Building Coverage: 36,861 sf (21%)

PROJECT SUMMARY

WELDON AUDITORIUM WAS BUILT IN 1954 AND IS A VENUE FOR COMMUNITY EVENTS IN CLARENDON COUNTY. THE BUILDING IS APPROXIMATELY 19,472 sq. ft. AND UNDERWENT ADDITIONS, ALTERATIONS, AND INTERIOR RENOVATIONS IN 2008. THE SCOPE OF THIS 2025 RENOVATION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

- REMOVAL OF EXISTING ROOF MATERIAL DOWN TO ROOF DECK
- INSTALLATION OF NEW INSULATION, TAPERED INSULATION, COVER BOARD, AND 2-PLY SBS ROOF MEMBRANE
- REMOVAL OF CONCRETE & METAL PARAPET CAPS TO BE REPLACED WITH NEW METAL CAPS
- INSTALLATION OF NEW GUTTERS AND REROUTING DRAINAGE AWAY FROM EXISTING ROOFS
- INSTALLATION OF PROPER MASONRY EXPANSION AND CONTROL JOINTS AT OUTSIDE AND RE-ENTRANT CORNERS OF THE AUDITORIUM
- REWORK OF EXISTING ROOFTOP PIPE CHASE HOUSINGS RELATIVE TO HVAC UNITS AND ELECTRICAL CONDUITS TO PROVIDE A WATERTIGHT ENVELOPE
- REMOVAL OF EXISTING ACCESS LADDERS AND INSTALL NEW WALL MOUNTED ACCESS LADDERS, INCLUDING ONE FROM GRADE WITH SECURITY PROVISIONS
- REMOVAL OF EXISTING EIFS FINISH ON EXTERIOR OF BUILDING AND REPLACE WITH HARDIE PANEL OR SIMILAR

SEE THE DRAWINGS AND SPECIFICATIONS HEREIN FOR FULL SCOPE OF WORK

REFERENCES

- FIELD INVESTIGATION REPORT DATED 11.24.2021
- WELDON AUDITORIUM ASSESSMENT REPORT DATED 02.18.2022
- WELDON AUDITORIUM COURTYARD SURVEY DATED 06.26.2024
- COMPREHENSIVE ASBESTOS & LEAD INSPECTION REPORT DATED 07.03.2024
- WELDON AUDITORIUM PROJECT MANUAL

DRAWING LIST

A001	COVER/TITLE SHEET	M2	PROPOSED ARCHITECTURAL HVAC PLAN
A002	NOTES, SYMBOLS, AND ABBREVIATIONS	S-1	CRTRYD. DRAINAGE KEY PLAN
A003	SCOPE OF WORK NOTES & WALL TYPE LEGEND	S-2	DRAINAGE ARMORY PLAN
A006	SITE PLAN	S-3	INFILL WINDOW LINTEL PLAN
A007	SCOPE OF WORK PLAN	S-4	WINDOW LINTEL SECTIONS
A009	SITE PLAN - EXISTING COURTYARD	S-5	CATWALK GUARDRAIL PLAN
A010	SITE PLAN - PROPOSED COURTYARD	S-6	CATWALK GUARDRAIL SCTNS.
A101-D	FIRST FLOOR PLAN - DEMOLITION	S-7	ROOF HATCH GUARDRAIL
A101-E	FIRST FLOOR PLANS & RCP - EXISTING	S-8	HVAC ENCLOSURE SHED
A101-P	FIRST FLOOR PLAN - PROPOSED		
A102-E	FIRST FLOOR RCP - EXISTING		
A111-E	SECOND FLOOR RCP - EXISTING		
A121-P	PROPOSED ATTIC PLAN		
A122-P	PROPOSED ROOF PLAN		
A123-P	PROPOSED ROOF PLAN		
A124-P	PROPOSED ROOF PLAN		
A125-P	PROPOSED ROOF PLAN		
A131-P	PROPOSED GUTTER & DOWNSPOUT PLAN		
A132-P	PROPOSED GUTTER & DOWNSPOUT PLAN		
A133-P	PROPOSED GUTTER & DOWNSPOUT PLAN		
A201-D	NORTH & SOUTH ELEVATIONS - DEMOLITION		
A201-P	NORTH & SOUTH ELEVATIONS - PROPOSED		
A202-D	EAST & WEST ELEVATIONS - DEMOLITION		
A202-P	EAST & WEST ELEVATIONS - PROPOSED		
A203-D	GYM - ELEVATIONS - DEMOLITION		
A203-P	GYM - ELEVATIONS - PROPOSED		
A204-D	COURTYARD - N & S ELEVATION - DEMOLITION		
A204-P	COURTYARD - N & S ELEVATION - PROPOSED		
A205-P	COURTYARD - SOUTH ELEVATION - PROPOSED		
A206-D	COURTYARD - EAST & WEST ELEVATION - DEMOLITION		
A206-P	COURTYARD - EAST & WEST ELEVATION - PROPOSED		
A301-P	BUILDING SECTIONS - PROPOSED		
A302-P	BUILDING SECTIONS - PROPOSED		
A303-P	BUILDING SECTIONS - PROPOSED		
A401	WALL SECTIONS & DETAILS		
A402	WALL SECTIONS & DETAILS		
A403	WALL SECTIONS & DETAILS		
A404	WALL SECTIONS & DETAILS		
A421	HVAC ENCLOSURE		
A501	ROOF DETAILS		
A502	ROOF DETAILS		
A503	ROOF DETAILS		
A504	ROOF DETAILS		
A505	ROOF DETAILS		
APPENDIX 1	WELDON AUDITORIUM COURTYARD SURVEY		
M1	PROPOSED ARCHITECTURAL HVAC PLAN		

GENERAL SPECIFICATIONS

THIS DRAWING SET IS TO BE PAIRED WITH PROVIDED OUTLINE SPECIFICATIONS DOCUMENT. NEITHER THE DRAWINGS OR THE OUTLINE SPECIFICATIONS DOCUMENT ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. BOTH THE DRAWINGS AND THE OUTLINE SPECIFICATIONS DOCUMENTS ARE TO BE CONSIDERED IN THE SCOPE OF WORK FOR THIS PROJECT.

ADDITIONAL NOTES:

*** Contractor is responsible to verify all dimensions and relevant bidding criteria.

LOCATION MAP



MEADORS
SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585
Architecture ■ Construction ■ Design Services ■ Cabinetry & Millwork ■ Conservation & Preservation Planning ■ Estate Management



WELDON AUDITORIUM
RENOVATIONS
7 Maple Street
Manning, SC 29102

PERMIT

PROJ. NO. 21-0053
ISSUE DATE: 01/31/25

REVISIONS

#	DATE	NOTES

COVER/TITLE
SHEET

A001

PROJECT GENERAL NOTES

- 1. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
2. THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS.
3. SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, TAXES, PERMITS, AND FEES AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT.
4. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
5. IF THE CONTRACT DRAWINGS AND SPECS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
6. THE ARCHITECT SHALL HAVE UNRESTRICTED ACCESS TO THE SITE DURING CONSTRUCTION OF THE PROJECT. IF A CONDITION EXISTS, THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ANY OF THE ARCHITECT'S CONSULTANTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING.
7. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
8. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY.
9. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AS OUTLINED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS, AND ALL SAFETY PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK.
10. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW AND GENERAL LIABILITY SHALL BE CARRIED BY THE CONTRACTOR, NAMING THE OWNER AND ARCHITECTS AS ADDITIONALLY INSURED.
11. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION OF THE BUILDING AS DEFINED BY THE ARCHITECT. UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS, FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES AND SUBCONTRACTORS.
13. CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND, AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS, AND LEAVE THE PROJECT CLEAN AND IN SAFE CONDITION.
14. CONTRACTOR TO PROVIDE THE OWNER WITH A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS ASSOCIATED WITH ANY COMPONENT INCLUDED AS PART OF THE SCOPE OF WORK.
15. CONTRACTOR AND SUB-CONTRACTORS SHALL REFERENCE THE OWNERS PROJECT REQUIREMENTS (OPR) AND/OR OUTLINE SPECIFICATIONS AND NOTIFY ARCHITECT AND MEP ENGINEER OF ANY DISCREPANCIES FROM THESE DOCUMENTS.
16. CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON SITE AND NOTE DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND DOCUMENT SPECIAL CONDITIONS THAT ARE EXPOSED. CONTRACTOR SHALL TURN THE RECORD SET OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.
17. NO OPEN FLAME DEVICES ARE ALLOWED WITHIN THE BUILDING OR ON COMPONENTS STILL ATTACHED TO THE BUILDING. THIS INCLUDES, BUT IS NOT LIMITED TO, TORCHES, WELDERS OR CIGARETTES.
18. DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER MEASUREMENTS.
19. THESE DOCUMENTS ARE THE COPYRIGHTED PROPERTY AND INTELLECTUAL PROPERTY OF MEADORS INC. THE DOCUMENTS ARE NOT TO BE REPRODUCED OR UTILIZED FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED AS STIPULATED ON THE COVER SHEET AND TITLEBLOCK. USE OF THE DOCUMENTS FOR ANY PURPOSE, SPECIFICALLY STIPULATED OR NOT, SHALL BE GRANTED ONLY VIA AUTHORIZED WRITING BY MEADORS INC.
20. NONE OF THE DOCUMENTS INCLUDED IN DRAWING INDEX ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. ALL PARTIES/ENTITIES UTILIZING THESE DOCUMENTS FOR BIDDING, QUANTITY SURVEY, AND/OR CONSTRUCTION SHALL CONSULT THE GENERAL NOTES AND INFORMATION LOCATED ON THIS SHEET AND ALL SHEETS FOR INFORMATION AND CONDITIONS GOVERNING WORK DESCRIBED IN DOCUMENTS LISTED IN THE DRAWING INDEX BEFORE PROCEEDING WITH PROCUREMENT AND/OR CONSTRUCTION. GENERAL INFORMATION AND DATA SHEET(S) PROVIDE CODE PROCEDURAL AND USE GUIDELINES GOVERNING ALL BID AND/OR CONSTRUCTION DOCUMENTS. ALL BIDDERS, SUB-BIDDERS, CONTRACTORS, AND SUB-CONTRACTORS SHALL UTILIZE COMPLETE SETS OF THE BIDDING AND/OR CONSTRUCTION DOCUMENTS IN QUANTIFYING AND CONSTRUCTING. NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS, OMISSIONS, OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF BIDDING AND/OR CONSTRUCTION DOCUMENTS.
21. ALL CONSTRUCTION, MATERIALS, AND INSTALLATIONS SHALL CONFORM TO THE CURRENT CODES NOTED ON THE COVER SHEET OF THESE DRAWINGS AS WELL AS APPLICABLE STATE AND LOCAL CODES, TRADE ASSOCIATION STANDARDS AND/OR MANUFACTURER'S STANDARDS AS ADOPTED BY THE APPLICABLE LOCAL JURISDICTION HAVING AUTHORITY.
22. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
23. COORDINATE AREAS FOR LAYDOWN, STORAGE AND PARKING WITH ARCHITECT AND OWNER PRIOR TO BEGINNING THE WORK.
24. FLOOR ELEVATIONS BASED ON SITE MEASUREMENTS W/ ELEVATION 0'-0" AT FIRST FLOOR. VERIFY DIMENSIONS PRIOR TO PERFORMING WORK.
25. PROVIDE ADEQUATE BLOCKING FOR ALL NEW SHELVING, BRACKETS, GRAB BARS, HANDRAILS, CABINETS, BATH ACCESSORIES, ETC.
26. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND WITHIN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THEIR WORK.
27. DIMENSIONS ARE TAKEN FROM FACE OF FRAMING LUMBER, FACE OF CONCRETE/MASONRY, CENTER OF COLUMN, CENTERLINE OF WINDOWS, AND CENTERLINE OF FIXTURE, UNLESS NOTED OTHERWISE.
28. ALL DIMENSIONS NOTED "VERIFY IN FIELD (V.I.F.)" SHALL BE MEASURED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
29. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR SITUATIONS.
30. IN THE CASE OF DISCREPANCIES WITHIN DESCRIPTIONS OF SIMILAR ITEMS, PRECEDENCE SHALL BE GIVEN TO NOTES & DRAWINGS OF GREATER DETAIL.
31. ALL REQUIRED EXITS SHALL BE OPERABLE FROM THE INSIDE, WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
32. ANY ELECTRICAL, PLUMBING, AND/OR HVAC SYSTEMS INCLUDED IN THE WORK SHALL BE INSTALLED ON A DESIGN-BUILD BASIS, AND SHALL NOT SIGNIFICANTLY ALTER THE STRUCTURE OR FINISHES.

CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION SHALL BE TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT.
2. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION. ALL SUBCONTRACTORS SHALL BE PROVIDED WITH A SET OF DRAWINGS.
3. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS, AS WELL AS INSPECT THE PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR PROBLEMS WHICH COULD HAVE BEEN REASONABLY PREVENTED BY A THOROUGH EXAMINATION.
4. PROVIDE TEMPORARY SUPPORT AS NECESSARY TO ENSURE THE STRUCTURAL INTEGRITY OF THE BUILDING UNDER CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION-RELATED ACTIVITIES.
5. INSTALL FIXTURES, MATERIALS, AND EQUIPMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS. SHOULD THOSE SPECS CONFLICT WITH THE DRAWINGS, IMMEDIATELY NOTIFY THE ARCHITECT.
6. VERIFY CLEARANCES FOR FIXTURES, VENTS, CHASES, ETC. BEFORE ORDERING OR INSTALLING RELATED WORK ITEMS.
7. INSTALL SMOKE DETECTORS AND FIRE EXTINGUISHERS IN CONFORMANCE TO LOCAL FIRE MARSHALL REQUIREMENTS.
8. ALL REQUIRED EXITS SHALL BE OPERABLE FROM THE INSIDE, WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
9. COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO: IRRIGATION PIPES, ELECTRICAL CONDUITS, WATER LINES, GAS LINES, AND DRAINAGE LINES.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REGULARLY REMOVING THE WASTE MATERIALS OF ALL SUBCONTRACTORS, AND MAINTAIN STRICT CONTROL OVER JOB CLEANING TO PREVENT DUST AND RUBBISH FROM INTERFERING WITH OPERATIONS. THIS STATEMENT DOES NOT RELIEVE THE SUBCONTRACTOR FROM PLACING THEIR WASTE MATERIALS IN THE SPECIFIED WASTE CONTAINERS. SUBCONTRACTORS ARE RESPONSIBLE FOR THEIR WORK AND KEEPING THE CONSTRUCTION SITE CLEAN.
11. CONSTRUCTION EQUIPMENT NOISE AND VIBRATIONS SHALL BE MINIMIZED DURING THE CONSTRUCTION PHASES BY MUFFLING AND SHIELDING IMPACT TOOLS WHENEVER POSSIBLE.

SITEWORK / GRADING NOTES

- 1. GRADING AND SITEWORK TO BE MINIMAL IN ALL AREAS NOT DIRECTLY AFFECTED BY THE WORK. FOLLOW BEST PRACTICES AND LOCAL REQUIREMENTS IN ORDER TO MINIMIZE ENVIRONMENTAL DAMAGE.
2. FINISH GRADE MUST SLOPE AWAY FROM EXTERIOR FOUNDATION WALL, AT A HEIGHT OF 6 INCHES OVER A 10 FOOT DISTANCE.
3. ANY SURVEY MARKERS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED. IF A MARKER IS ALTERED BY A CONTRACTOR, IT SHALL BE RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT THE COST OF THAT CONTRACTOR.
4. BEFORE GRADING OPERATIONS, A TEMPORARY PROTECTION FENCE SHALL BE CONSTRUCTED AROUND ANY TREE WITHIN 30 FEET OF THE FOUNDATION, AND A SILT FENCE MUST BE CONSTRUCTED DOWNSLOPE OF ANY AREA WHERE THE SOIL IS DISTURBED.

FOUNDATION NOTES

- 1. CONSULT STRUCTURAL DRAWINGS FOR SPECIFIC INFORMATION RELATED TO THE WORK AND EXISTING SITE.
2. INSTALL PERFORATED DRAINAGE PIPES WHERE NOTED ON DRAWINGS. REFER TO CIVIL DRAWINGS FOR DETAILS.
3. ALL DOWNSPOUTS TO BE DIVERTED AWAY FROM BUILDING FOUNDATION BY USE OF SPLASH BLOCKS OR EXTENSIONS SO THAT DISCHARGE IS A MINIMUM OF 3 FEET AWAY FROM FOUNDATION. NO DOWNSPOUT SHALL DISCHARGE IN AN AREA THAT DOES NOT POSITIVELY DRAIN AWAY FROM FOUNDATION. REFER TO CIVIL DRAWINGS FOR DETAILS.

WEATHERPROOFING NOTES

- 1. DEPICTED WEATHERPROOFING METHODS (SUCH AS SEALANT, CAULKING, AND FLASHING) ARE NOT COMPREHENSIVE. FOLLOW THE REQUIREMENTS AND RECOMMENDATIONS FROM BUILDING CODES, PRODUCT MANUFACTURER'S AND AGENCIES THAT DEVELOP STANDARDS.
2. WEATHERPROOFING SHALL COMPLY WITH THE CURRENT INTERNATIONAL BUILDING CODE, INTERNATIONAL ENERGY CONSERVATION CODE, AND LOCAL CODES HAVING JURISDICTION.
3. PROVIDE MINIMUM R-13 + R-3.8 CONTINUOUS INSULATION IN ALL NEW METAL FRAMED EXTERIOR WALLS.
4. PROVIDE MINIMUM R-38 CONTINUOUS INSULATION AT CEILINGS ADJACENT TO ATTICS/ROOFS.
5. PROVIDE MINIMUM R-20 CONTINUOUS INSULATION ENTIRELY ABOVE ROOF DECK.
6. PROVIDE MAXIMUM FENESTRATION U-FACTOR 0.65
7. PROVIDE MAXIMUM GLAZED FENESTRATION SHGC 0.40
8. ALL WOOD WITHIN 8 INCHES OF THE GROUND SHALL BE PRESSURE TREATED OR COMPRISE A SUITABLY ROT RESISTANT MATERIAL. METAL CONNECTIONS WHICH TOUCH THIS WOOD SHOULD BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
9. PVC, VINYL, FIBERGLASS, AND ALUMINUM SHALL BE MINIMALLY USED THROUGHOUT THE CONSTRUCTION. ONLY DECORATIVE TRIM, INSULATION, AND EXTERIOR WINDOWS SHALL COMPRISE THESE MATERIALS.
10. CONTRACTOR SHALL SEAL THE BUILDING ENVELOPE TO PREVENT CONDITIONED AIR FROM LEAKING AROUND DOORS, WINDOWS, AND OTHER CRACKS. ANY PENETRATION IN THE BUILDING ENVELOPE MUST BE THOROUGHLY SEALED DURING THE CONSTRUCTION PROCESS, INCLUDING HOLES MADE FOR THE INSTALLATION OF PLUMBING, ELECTRICAL, AND HEATING/COOLING SYSTEMS. CONTRACTOR IS RESPONSIBLE FOR CAULKING, GASKETING, WEATHERSTRIPPING, WRAPPING, OR OTHERWISE SEALING TO LIMIT UNCONTROLLED AIR MOVEMENT. AREAS OF CONCERN INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
A. ALL JOINTS, SEAMS, AND PENETRATIONS
B. SITE-BUILT WINDOWS, DOORS, AND SKYLIGHTS
C. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING
D. UTILITY PENETRATIONS
E. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE
F. KNEE WALLS
G. WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES
H. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS
I. COMMON WALLS BETWEEN DWELLING UNITS
J. ATTIC ACCESS OPENINGS
K. RIM JOIST JUNCTION
11. OWNER OPTION TO TEST BUILDING ENVELOPE TIGHTNESS. ACCEPTABLE TESTED AIR LEAKAGE IS LESS THAN SEVEN AIR CHANGES PER HOUR (ACH) WHEN TESTED WITH A BLOWER DOOR AT A PRESSURE OF 50 PASCALS. TESTING SHALL OCCUR AFTER ROUGH-IN AND AFTER INSTALLATION OF PENETRATIONS OF THE BUILDING ENVELOPE, INCLUDING PENETRATIONS FOR UTILITIES, PLUMBING, ELECTRICAL, VENTILATION, AND COMBUSTION APPLIANCES.
A. DURING TESTING:
a. EXTERIOR WINDOWS AND DOORS, FIREPLACE AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED
b. DAMPERS SHALL BE CLOSED, BUT NOT SEALED, INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS
c. INTERIOR DOORS SHALL BE OPEN
d. EXTERIOR OPENINGS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED
e. HEATING AND COOLING SYSTEMS SHALL BE TURNED OFF
f. HVAC DUCTS SHALL NOT BE SEALED
g. SUPPLY AND RETURN REGISTERS SHALL NOT BE SEALED

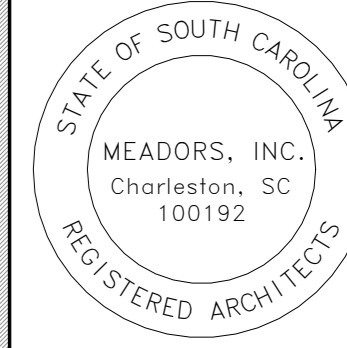
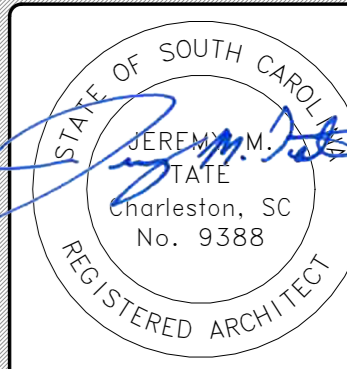
ABBREVIATIONS LEGEND

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes terms like ACJ (Acoustic Ceiling Joint), ALU (Aluminum), CAT (Catalogue), etc.

SYMBOLS LEGEND

Diagrams and symbols for ELEVATION, DETAIL CALLOUT, SECTION, DRAWING TITLE, WALL TAG, WINDOW TAG, DOOR TAG, BUILDING LEVEL TAG, ROOM TAG. Includes labels like 'View Name', 'Drawing Number', 'Sheet Number', 'Level Name', 'Room Name', 'Drawing Scale'.

MEADORS SINCE 1984



WELDON AUDITORIUM RENOVATIONS 7 Maple Street Manning, SC 29102

PERMIT

PROJ. NO. 21-0053 ISSUE DATE: 01/31/25

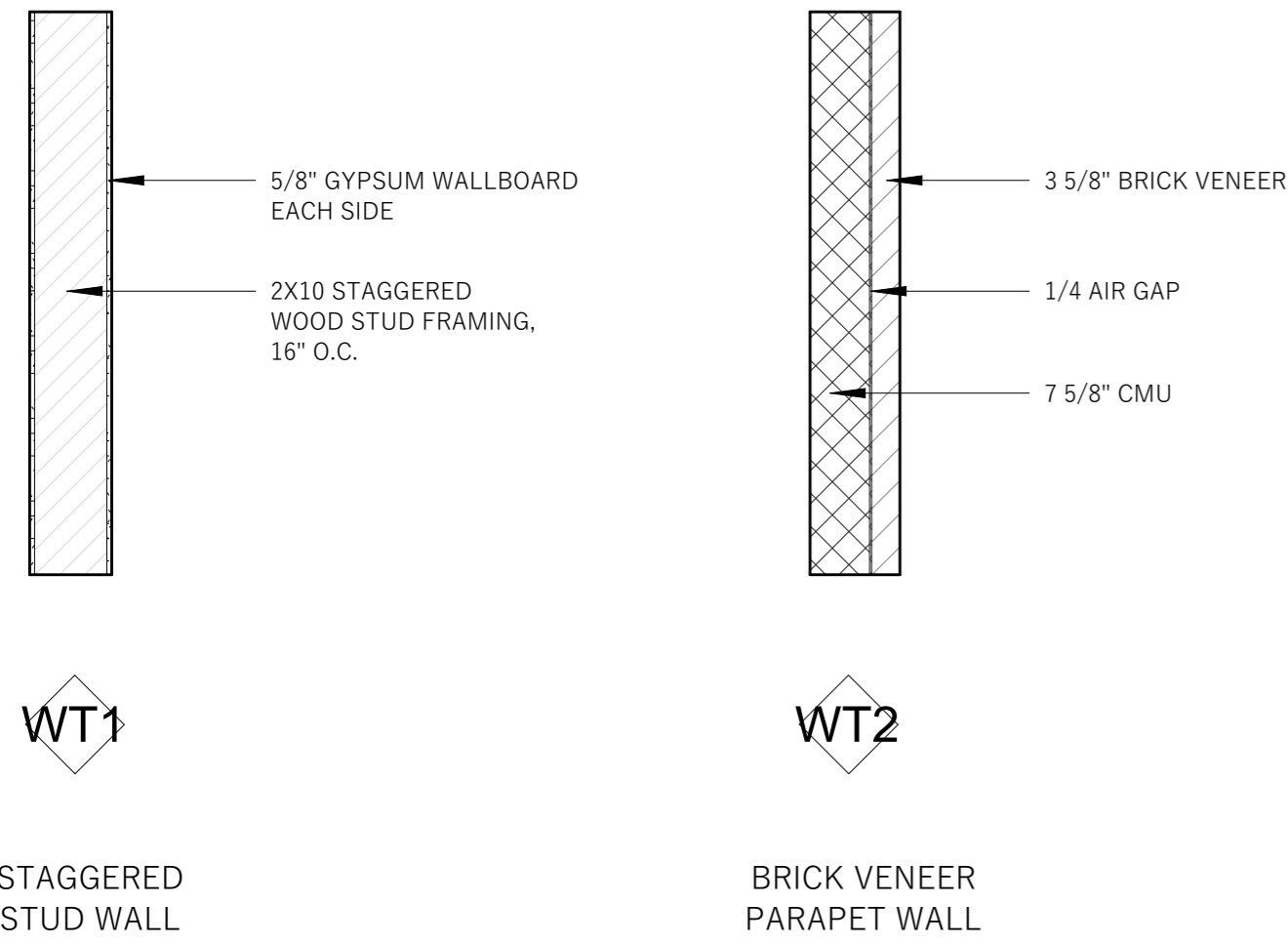
REVISIONS

Table with 3 columns: #, DATE, NOTES

NOTES, SYMBOLS, AND ABBREVIATIONS

A002

NEW WALL TYPE LEGEND



EXTERIOR SCOPE OF WORK

- ROOF:**
- DEMO EXISTING GRAVEL ROOFS DOWN TO SHEATHING PER SHEET A007
 - DEMO EXISTING MEMBRANE ROOFS DOWN TO SHEATHING PER SHEET A007
 - REMOVE EXISTING ROOF HVAC UNITS AND COORDINATE WITH MECHANICAL CONTRACTOR FOR INSTALL SCHEDULE FOR NEW EQUALLY COMPLIANT UNITS
 - INSTALL NEW SEISMIC CURBS
 - INSTALL NEW 2-PLY SBS MEMBRANE ROOF ASSEMBLY
 - INSTALL NEW ROOF RAILS ON ROOF A & ROOF K
- PARAPET WALL:**
- DEMO EXISTING METAL PARAPET CAPS
 - DEMO EXISTING COPING STONES
 - DEMO EXISTING ROOF RAILS
 - INSTALL NEW METAL PARAPET CAPS
 - EXTEND PARAPET WALL HEIGHT SURROUNDING ROOFS C & F
 - REOPEN CLOSED OVERFLOW DRAIN ON ROOF B
- GUTTERS & DOWNSPOUTS:**
- INSTALL NEW GUTTERS PER SHEETS A131-A133P
 - INSTALL NEW DOWNSPOUTS PER SHEETS A131-A133P
 - INSTALL NEW CONDUCTOR HEADS PER SHEETS A131P
- MASONRY:**
- 100% MASONRY REPOINTING WITH MORTAR AND TOOL JOINT PER SPECIFICATIONS. SEE A2 SHEETS FOR LOCATIONS
 - INSTALL EXPANSION JOINTS AS NOTED ON THE ELEVATIONS AND PER THE SPECIFICATIONS
 - CLEAN ALL MASONRY SURFACES PER SPECIFICATIONS
 - APPLY MASONRY WATER REPELLENT TO ALL BRICK SURFACES PER SPECIFICATIONS
 - FLASH REENTRANT CORNERS
- INFILL WINDOWS:**
- REMOVE EXTERIOR EIFS AND SHEATHING DOWN TO METAL FRAMING
 - INSTALL NEW LINTELS OVER INFILL WINDOWS. REFER TO DETAILS ON SHEETS S-3
 - INSTALL NEW SHEATHING AND WEATHER RESISTIVE BARRIER
 - INSTALL NEW CEMENTITIOUS FINISH
- ATTIC:**
- REPAIR AND REPAINT EXISTING ATTIC VENTS; SEAL & INSULATE
 - REPAIR AND REPAINT EXISTING ATTIC DOOR
 - LIQUID FLASH ATTIC DOOR
- COURTYARD:**
- SCOPE & CLEAN OUT EXISTING DRAINAGE LINES & EXISTING FRENCH DRAIN. REFER TO SHEET A010
 - INSTALL NEW 4" DRAINAGE LINES. REFER TO SHEET A010
 - INSTALL NEW CATCH BASINS. REFER TO SHEET A010
 - REPAIR/REPLACE VINYL SIDING
 - INSTALL NEW AWNING
 - ARMOR OPEN DRAINAGE CHANNEL WITH CONCRETE
 - DEMO BRICK WALL BETWEEN BUILDINGS ENCLOSING THE EXISTING OPEN DRAINAGE CHANNEL
 - INSTALL NEW METAL GATE TO MATCH EXISTING IN STYLE, FINISH, AND HEIGHT
- BUILDING EXTERIOR:**
- INSTALL NEW ROOF ACCESS LADDER WITH SECURITY DOOR
 - REPAIR & REPAINT EIFS FINISH AT FRONT ENTRY HANDRAILS
 - SECURE FRONT ENTRY HANDRAILS TO STRUCTURE
 - REPAIR/REPLACE STEP LIGHTS AT FRONT ENTRY
 - REGRADE AROUND ENTIRE BUILDING AS NEEDED TO ALLOW FOR PROPER DRAINAGE AWAY FROM FOUNDATION
 - TRIM BACK ALL TREES
 - REMOVE INVASIVE VINES/SHRUBS THAT HAVE GROWN IN

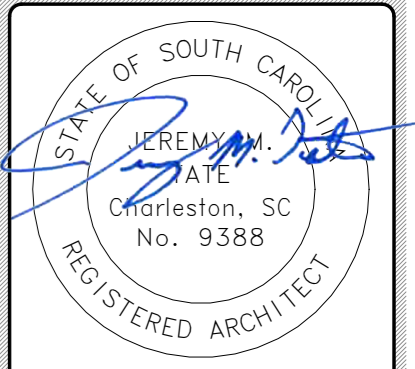
INTERIOR SCOPE OF WORK

- AUDITORIUM:**
- REPAIR DAMAGED WALL PLASTER ALONG SOUTH WALL
 - REPAIR DAMAGED PLASTER CEILING ABOVE METAL CATWALK AND STAGE
 - REPLACE EXISTING CEILING LIGHTS WITH LED EQUIVALENT
- BALCONY STAIRWELL & BALCONY SEATING:**
- REPAIR AND REPAINT DAMAGED PLASTER CEILING
 - REPLACE EXISTING CEILING LIGHTS WITH LED EQUIVALENT
- DRESSING ROOMS & EOC:**
- REPAIR AND REPAINT DAMAGED PLASTER CEILING
- STORAGE:**
- REMOVE AND REPLACE DAMAGED VCT FLOORING
- NORTH ENTRY:**
- REMOVE AND REPLACE DAMAGED VCT FLOORING
 - REPAIR AND REPAINT DAMAGED PLASTER CEILING
- LOWER GALLERY:**
- REPAIR AND REPAINT DAMAGED PLASTER CEILING
 - REPAIR AND REPAINT DAMAGED HVAC CHASE
- VESTIBULE:**
- INSTALL NEW WALL WITH PASSAGEWAY TO SUPPORT EXISTING BRICK LINTEL
 - REPAIR AND REPAINT DAMAGED GYPSUM CEILING
 - REMOVE AND REPLACE DAMAGED ACT
- UPPER GALLERY:**
- REMOVE AND REPLACE DAMAGED ACT
- REAR HALLWAY:**
- REMOVE AND REPLACE DAMAGED ACT
- BREEDIN GARDEN ROOM:**
- REMOVE AND REPLACE DAMAGED ACT
 - REPAIR DAMAGED EXTERIOR DOOR TRIM
- ATTIC:**
- REPLACE ALL CEILING LIGHT FIXTURES WITH LED EQUIVALENT FIXTURES
 - REDECK EXISTING CATWALK WITH PLYWOOD
 - INSTALL OSHA COMPLIANT RAILINGS ON ALL SIDES OF CATWALK

GENERAL CLEANING NOTES

- EXTERIOR CLEANING:**
- CLEAN ALL EAVES OF MJD DAUBER NESTS
 - CLEAN/REPAINT ALL METAL EAVES
 - REMOVE ALL BIOGROWTH WITHIN PROJECT SCOPE
 - CLEAN DEBRIS FROM TOP OF AWNINGS AND PATHWAY COVERINGS AROUND THE BUILDING
- INTERIOR CLEANING:**
- CLEAN/REPAINT BRICK WALL IN LOWER GALLERY, UPPER GALLERY, REAR HALLWAY, & VESTIBULE
 - REPAIR/REPAINT GYPSUM WALL IN BREEDIN GARDEN ROOM

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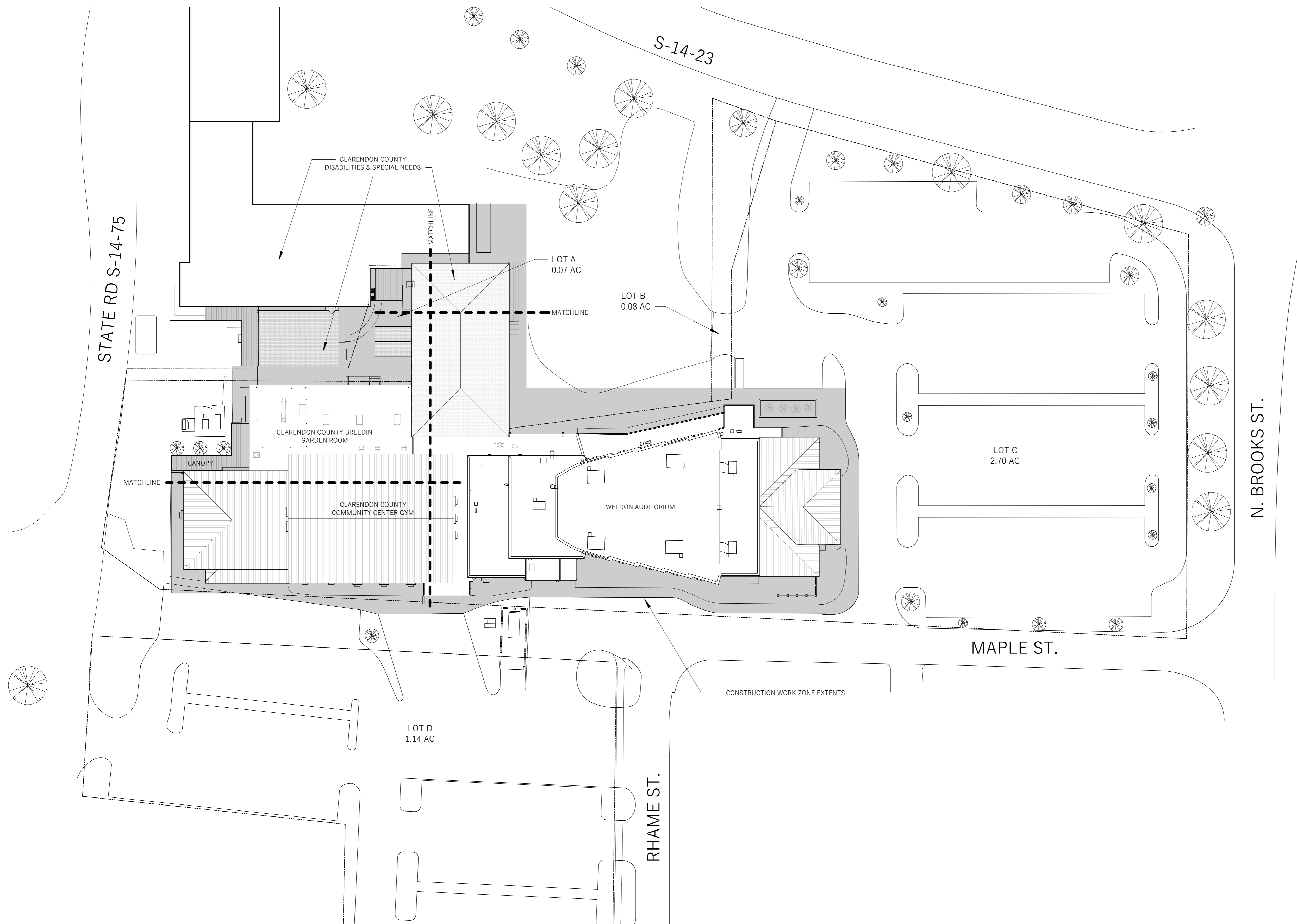
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SCOPE OF WORK NOTES & WALL TYPE LEGEND

A003

CONSTRUCTION WORK ZONE NOTES

1. CONSTRUCTION WORK IS TO TAKE PLACE WITHIN HATCHED EXTENTS ON DRAWINGS. ALL OTHER AREAS ARE TO REMAIN ACCESSIBLE TO OCCUPANTS AND VISITORS.
2. INSTALL TREE PROTECTION ZONES & BARRICADES AROUND ALL TREES WITHIN CONSTRUCTION WORK AREA.



1 SITE PLAN
1" = 30'-0"

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JEREMY M. MEADORS
Charleston, SC
No. 9388
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
MEADORS, INC.
Charleston, SC
100192
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SITE PLAN
A006

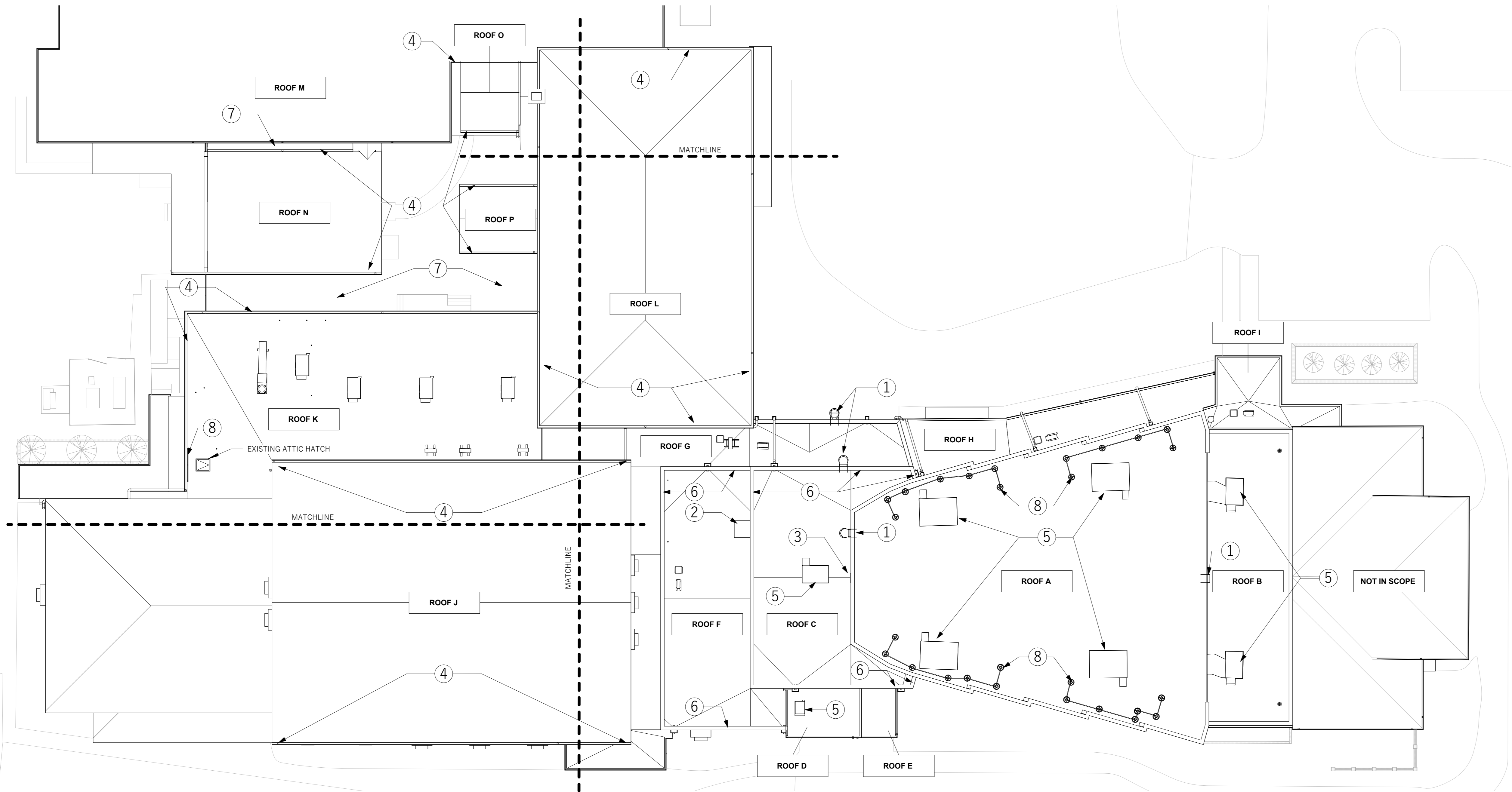
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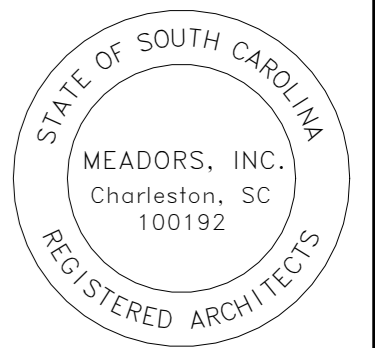
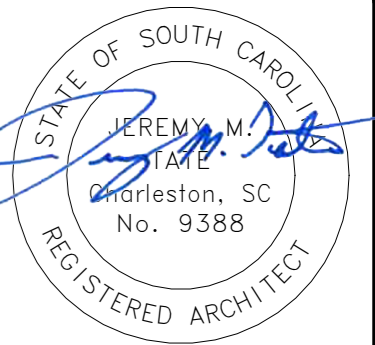
SCOPE OF WORK PLAN

- ROOF A - MAIN AUDITORIUM: DEMO EXISTING GRAVEL ROOF AND INSTALL NEW ROOF PER SHEET A403
- ROOF B - BALCONY: DEMO EXISTING GRAVEL ROOF AND INSTALL NEW ROOF PER SHEET A403
- ROOF C - STAGE: DEMO EXISTING MEMBRANE ROOF AND INSTALL NEW ROOF PER SHEET A402
- ROOF D & E - LOADING: EXISTING MEMBRANE ROOF AND GUTTER TO REMAIN, INSTALL ROOFING PROTECTION DURING CONSTRUCTION, INSTALL NEW FULL REGLETED COUNTER FLASHING
- ROOF F - DRESSING ROOM: DEMO EXISTING GRAVEL ROOF AND INSTALL NEW ROOF PER SHEET A402
- ROOF G - UPPER GALLERY & BACK CORRIDOR: DEMO EXISTING GRAVEL ROOF AND INSTALL NEW ROOF PER SHEET A401
- ROOF H - LOWER GALLERY: DEMO EXISTING MEMBRANE ROOF AND INSTALL NEW ROOF PER SHEET A401
- ROOF I - NORTH ENTRY: DEMO EXISTING MEMBRANE ROOF AND INSTALL NEW ROOF PER SHEET A402
- ROOF J - GYMNASIUM: INSTALL NEW GUTTER PER SHEET A401 AND ROUTE DOWNSPOUT TO DISCHARGE FROM SURROUNDING ROOFS & TO GRADE
- ROOF K - BREEDIN GARDEN: DEMO EXISTING MEMBRANE ROOF AND INSTALL NEW ROOF PER SHEET A404
- ROOF L - SOCIAL SERVICES: INSTALL NEW GUTTER PER SHEET A133 AND ROUTE DOWNSPOUT TO DISCHARGE FROM SURROUNDING ROOFS & TO GRADE
- ROOF M - SOCIAL SERVICES: REROUTE DOWNSPOUTS TO DISCHARGE FROM SURROUNDING ROOFS & TO GRADE
- ROOF N - SOCIAL SERVICES OFFICE: INSTALL NEW GUTTERS PER SHEET A133 AND ROUTE DOWNSPOUT TO DISCHARGE TO GRADE
- ROOF O - PATIO CANOPY: INSTALL NEW GUTTER PER SHEET A133 AND ROUTE DOWNSPOUT TO DISCHARGE TO GRADE
- ROOF P - SHED: INSTALL NEW GUTTERS PER SHEET A133 AND ROUTE DOWNSPOUT TO DISCHARGE TO GRADE

- 1 REMOVE EXISTING ROOF LADDERS; INSTALL NEW ROOF LADDERS, INSTALL NEW ACCESS LADDER TO GRADE
- 2 ENCLOSE EXPOSED HVAC DUCTWORK
- 3 INSTALL LIQUID FLASHING AROUND EXISTING ATTIC ACCESS DOOR SILL TO CREATE PROPER WATERTIGHT DETAIL TO ROOF C; REMOVE AND REPLACE EXISTING ATTIC ACCESS IF NEEDED
- 4 INSTALL NEW GUTTERS AND DOWNSPOUTS
- 5 REPLACE EXISTING HVAC UNITS WITH EQUALLY COMPLIANT, COORDINATE WITH MECHANICAL CONTRACTOR
- 6 EXTEND PARAPET WALL HEIGHT
- 7 INSTALL NEW CATCH BASINS, DRAINLINES, AND ARMOR DRAINAGE CHANNEL TO COURTYARD TO IMPROVE DRAINAGE
- 8 INSTALL NEW ROOF RAILS



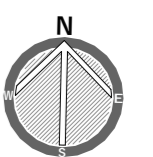
1 SCOPE OF WORK PLAN
1/16" = 1'-0"



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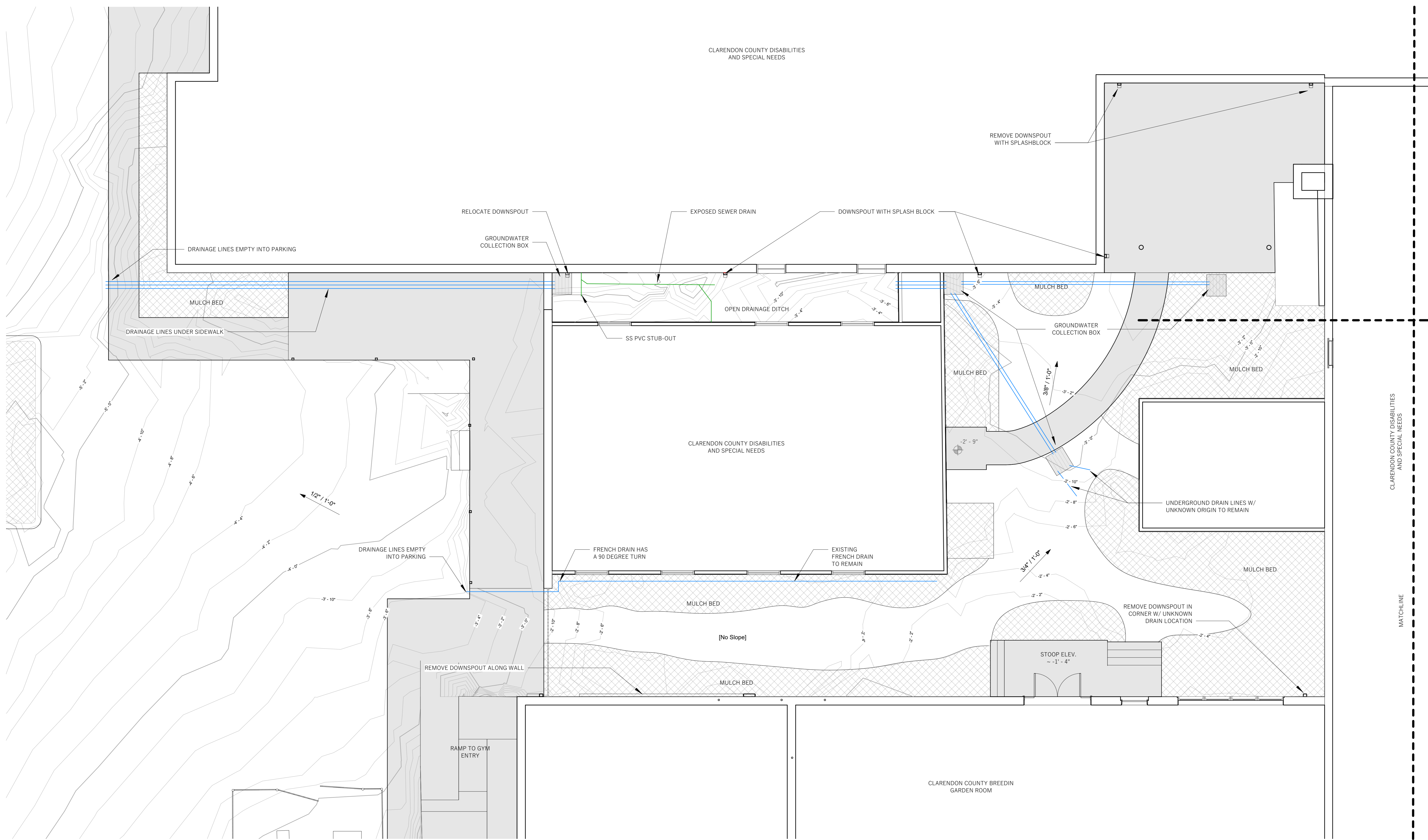
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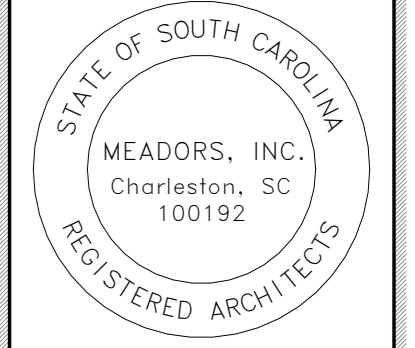
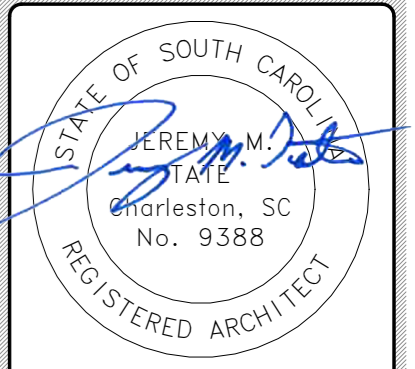


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1 SITE PLAN - EXISTING COURTYARD
3/16" = 1'-0"



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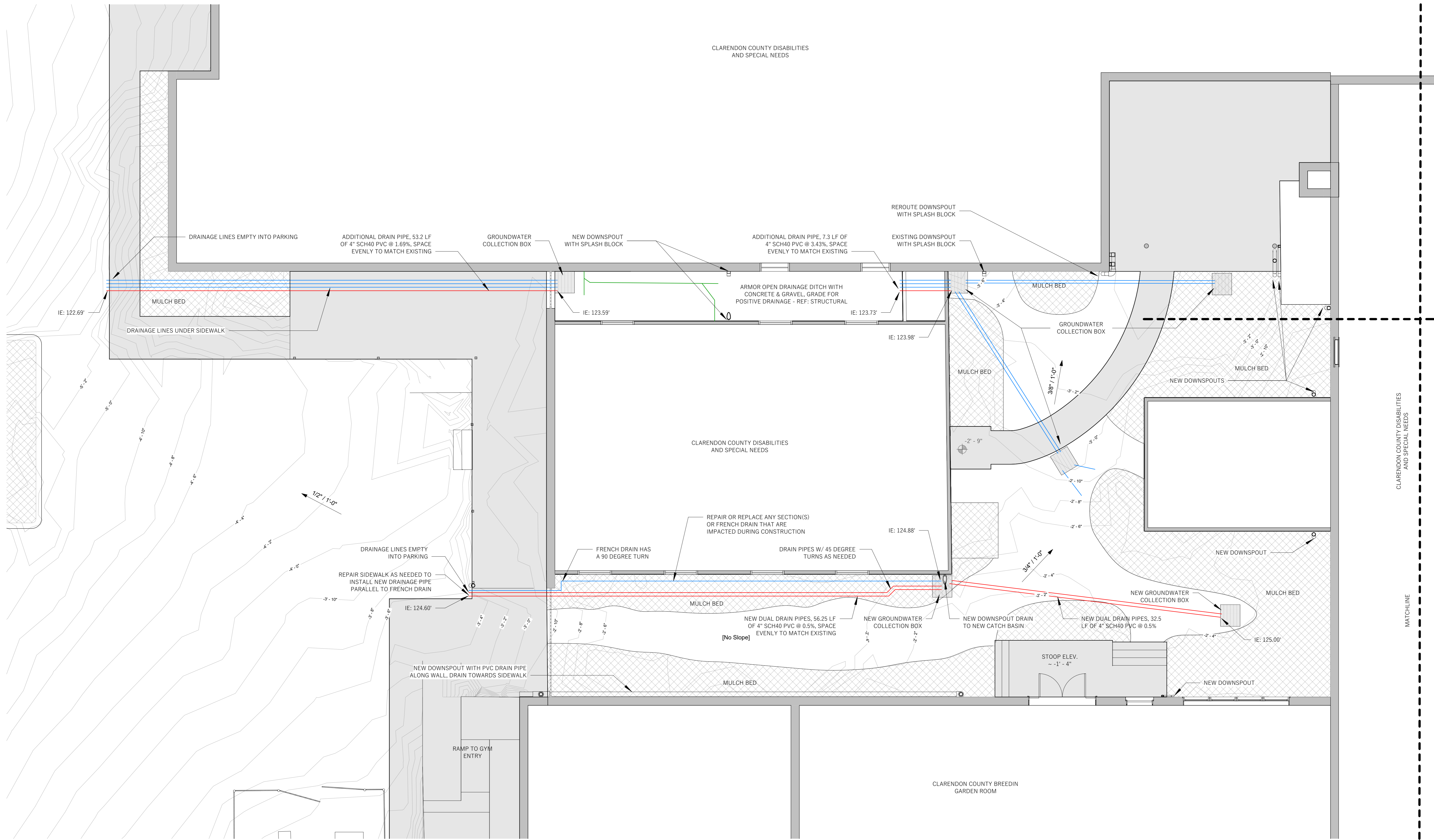
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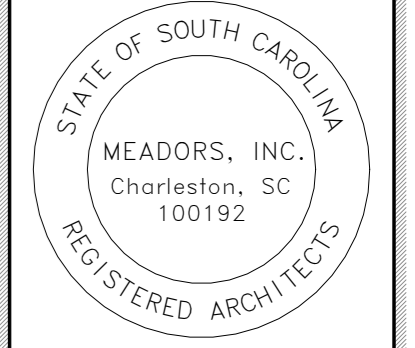
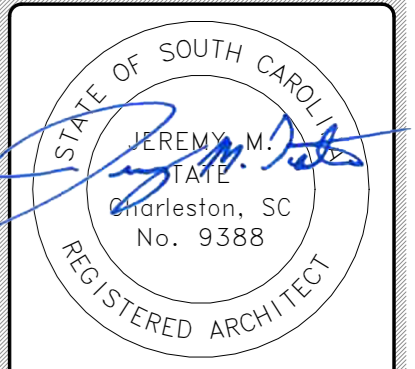
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COURTYARD NOTES

- EXISTING DRAIN LINES TO BE SCOPED FOR INSPECTION & CHECKED FOR BLOCKAGES.
- FRENCH DRAIN ADJACENT TO D&S BUILDING TO BE INSPECTED & CHECKED FOR BLOCKAGES.
- GEL RECOMMENDS GRATE INLETS BE INSPECTED PRIOR TO INSTALLATION TO ENSURE THAT OPENING SIZES WILL NOT BECOME BLOCKED BY SMALL DEBRIS OR GRASS CLIPPINGS.
- REGRADE AS NEEDED FOR PROPER DRAINAGE.
- IF NON STRUCTURAL CONCRETE IS DAMAGED, REVIEW SOLUTION WITH ARCHITECT PRIOR TO PROCEEDING.
- ALL ELEVATIONS NOTED ARE BASED ON ATTACHED GEL SURVEY PERFORMED ON 06.26.2024



1 SITE PLAN - PROPOSED COURTYARD
3/16" = 1'-0"



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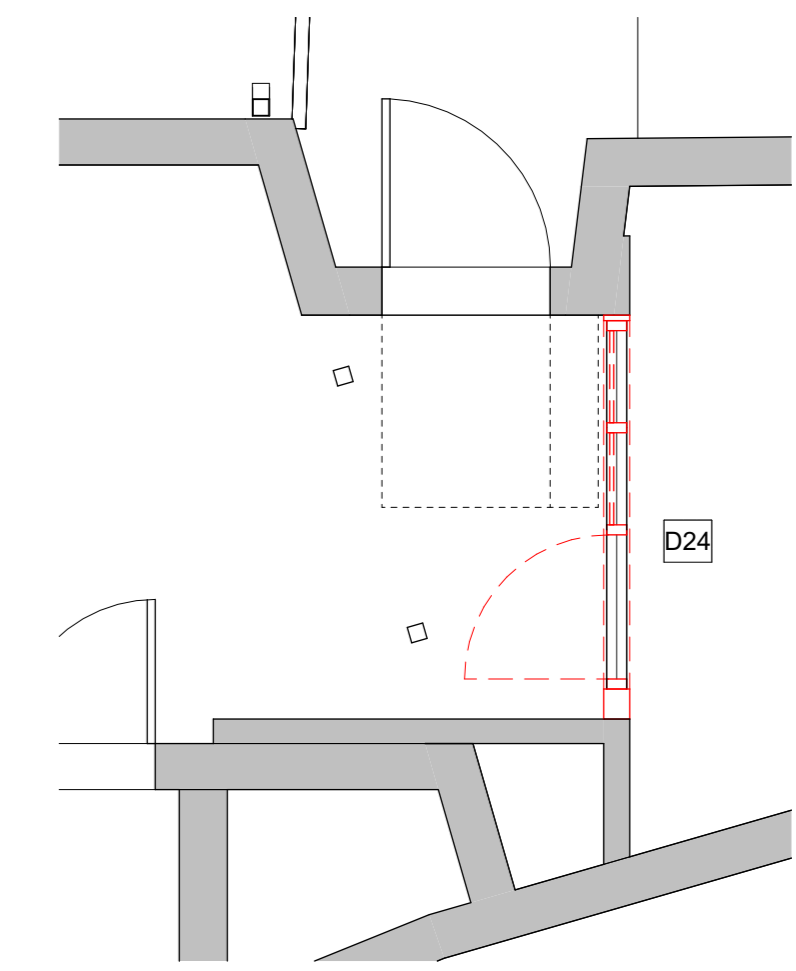
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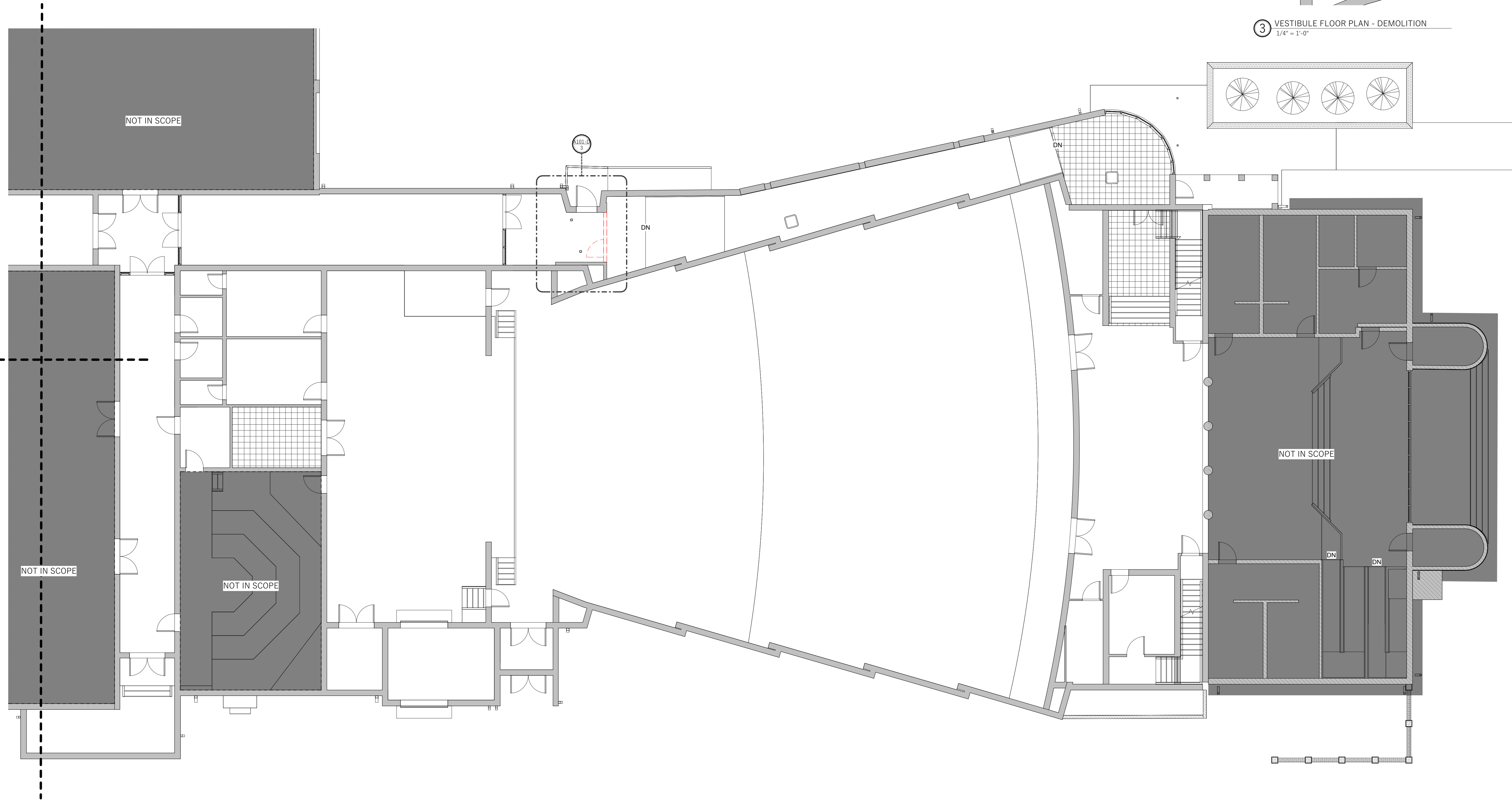
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DEMO NOTES

- D1 REMOVE CONCRETE/METAL COPING CAPS AND PREP FOR NEW METAL PARAPET CAP.
- D2 REMOVE BUILT-UP GRAVEL ROOF AND INSULATION DOWN TO DECK AND PREP FOR NEW 2-PLY ROOF SYSTEM.
- D3 REMOVE SINGLE PLY ROOF AND INSULATION DOWN TO DECK AND PREP FOR NEW 2-PLY ROOF SYSTEM.
- D4 REMOVE AND SALVAGE EXISTING GUTTERS WHERE POSSIBLE. REPLACE GUTTER SECTIONS AS REQUIRED, COLOR TO MATCH.
- D5 REMOVE EXISTING GUTTER AND REPLACE, COLOR TO MATCH.
- D6 REMOVE DOOR TRIM COMPLETE.
- D7 REMOVE AND REPLACE STEEL LINTELS; REPAIR ASSOCIATED BRICKWORK - REMOVE EIFS HOOD DETAIL
- D8 REMOVE EIFS COATING AND PREPARE FOR A NEW METAL CLAD WALL SYSTEM.
- D9 REMOVE EXISTING LADDERS AND REPLACE WITH CODE COMPLIANT LADDER AND APPROPRIATE SAFETY MEASURES.
- D10 REMOVE METAL PARAPET CLADDING AND PREPARE FOR NEW CLADDING SYSTEM.
- D11 REMOVE AND REPLACE ROOF GUARDS.
- D12 REMOVE EXISTING AWNING.
- D13 REMOVE EXISTING GRAVEL STOP AND PREPARE FOR NEW EMBEDDED EDGE METAL FLASHING.
- D14 REPLACE EXISTING METAL PARAPET CAP.
- D15 RELOCATE EXISTING PLUMBING STACK.
- D16 REMOVE EIFS COATING AND PREPARE FOR NEW WALL SYSTEM.
- D17 REMOVE EXISTING DOWNSPOUT.
- D18 REMOVE A PORTION OF EXISTING DOWNSPOUT TO PROVIDE A CONNECTION TO NEW DOWNSPOUT.
- D19 REMOVE EXISTING SHEET METAL ENCLOSURE.
- D20 REMOVE EXISTING CONDUCTOR HEAD AND DOWNSPOUT.
- D21 REMOVE EXISTING BRICK WALL BETWEEN BUILDINGS FOR ACCESS.
- D22 REMOVE ALL THROUGH WALL SCUPPERS.
- D23 RELOCATE EXISTING VENTS.
- D24 REMOVE EXISTING STOREFRONT & INTERIOR WALL TO FULL HEIGHT.



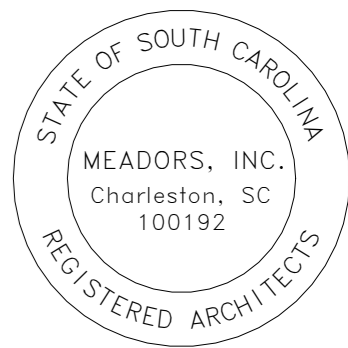
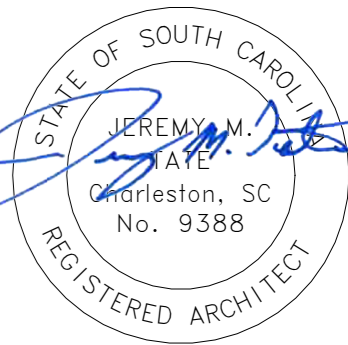
3 VESTIBULE FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



1 DEMOLITION FLOOR PLAN
1/8" = 1'-0"

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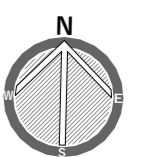
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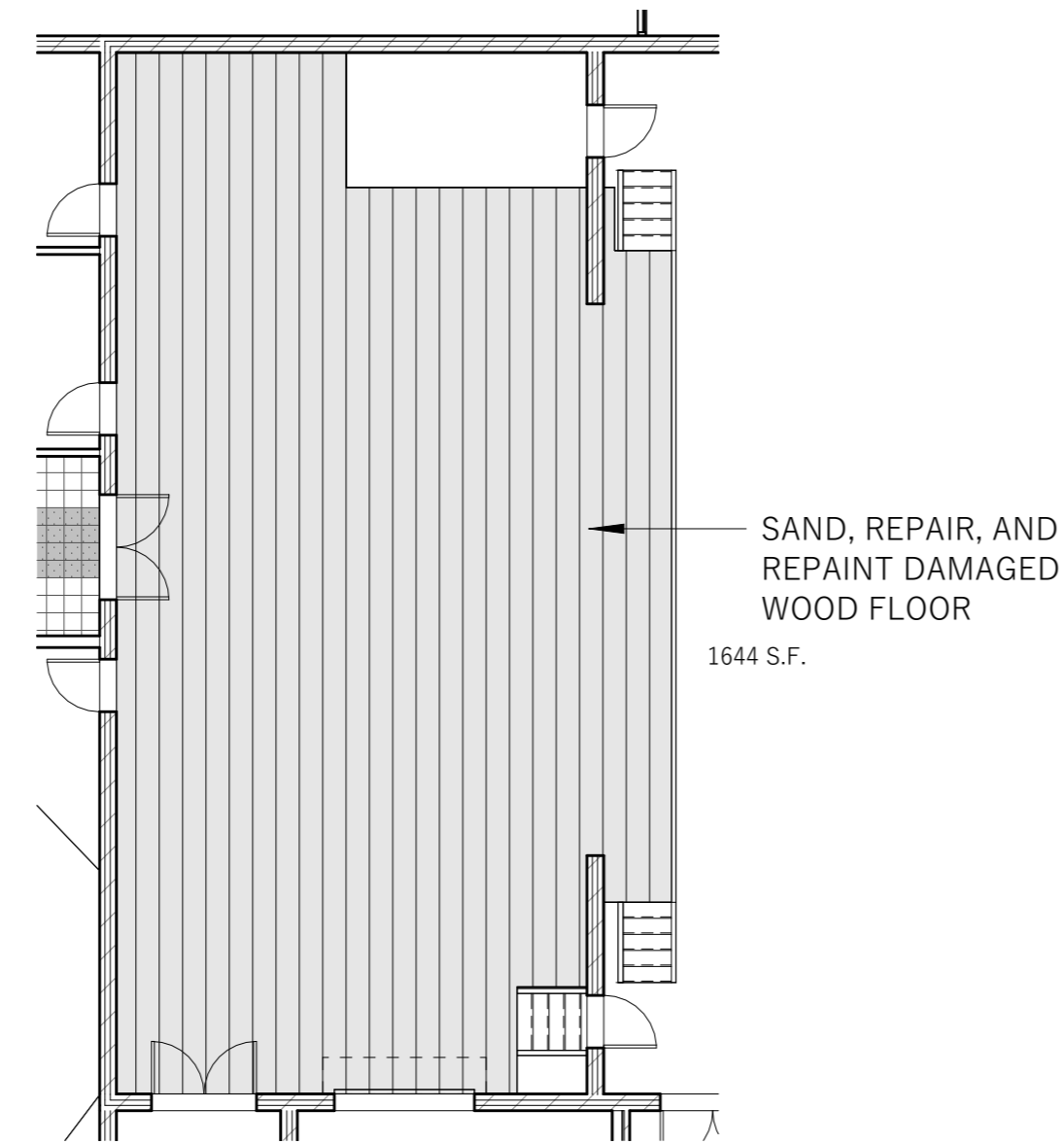
FIRST FLOOR
PLAN -
DEMOLITION

A101-D

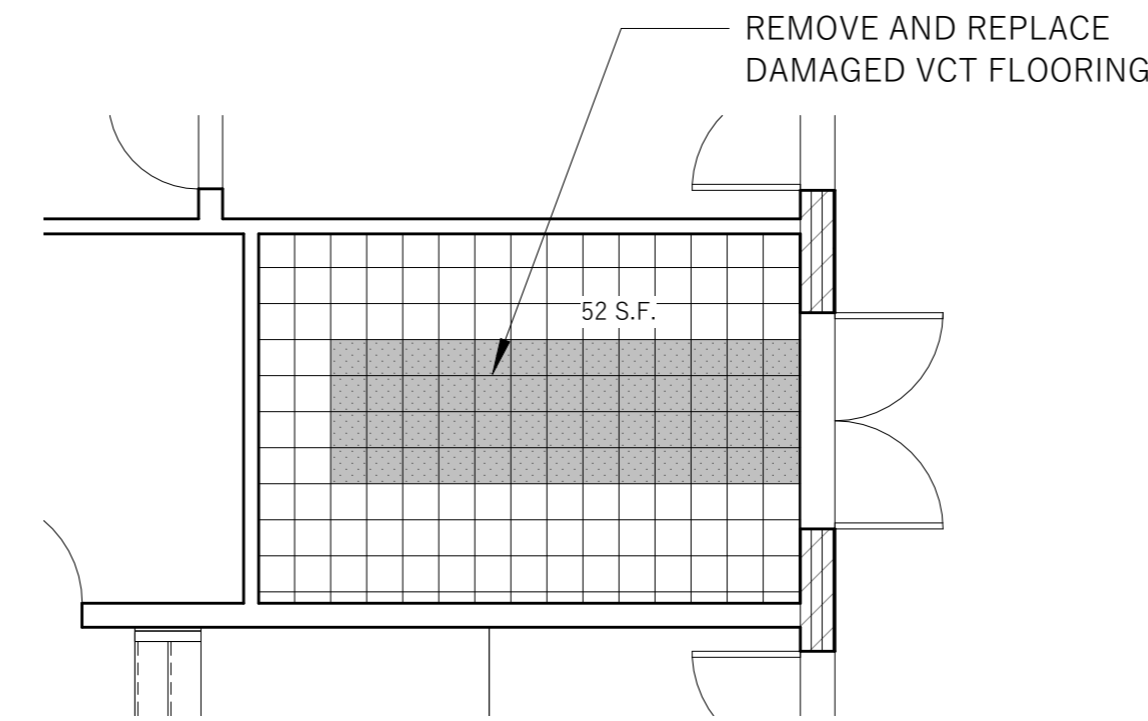


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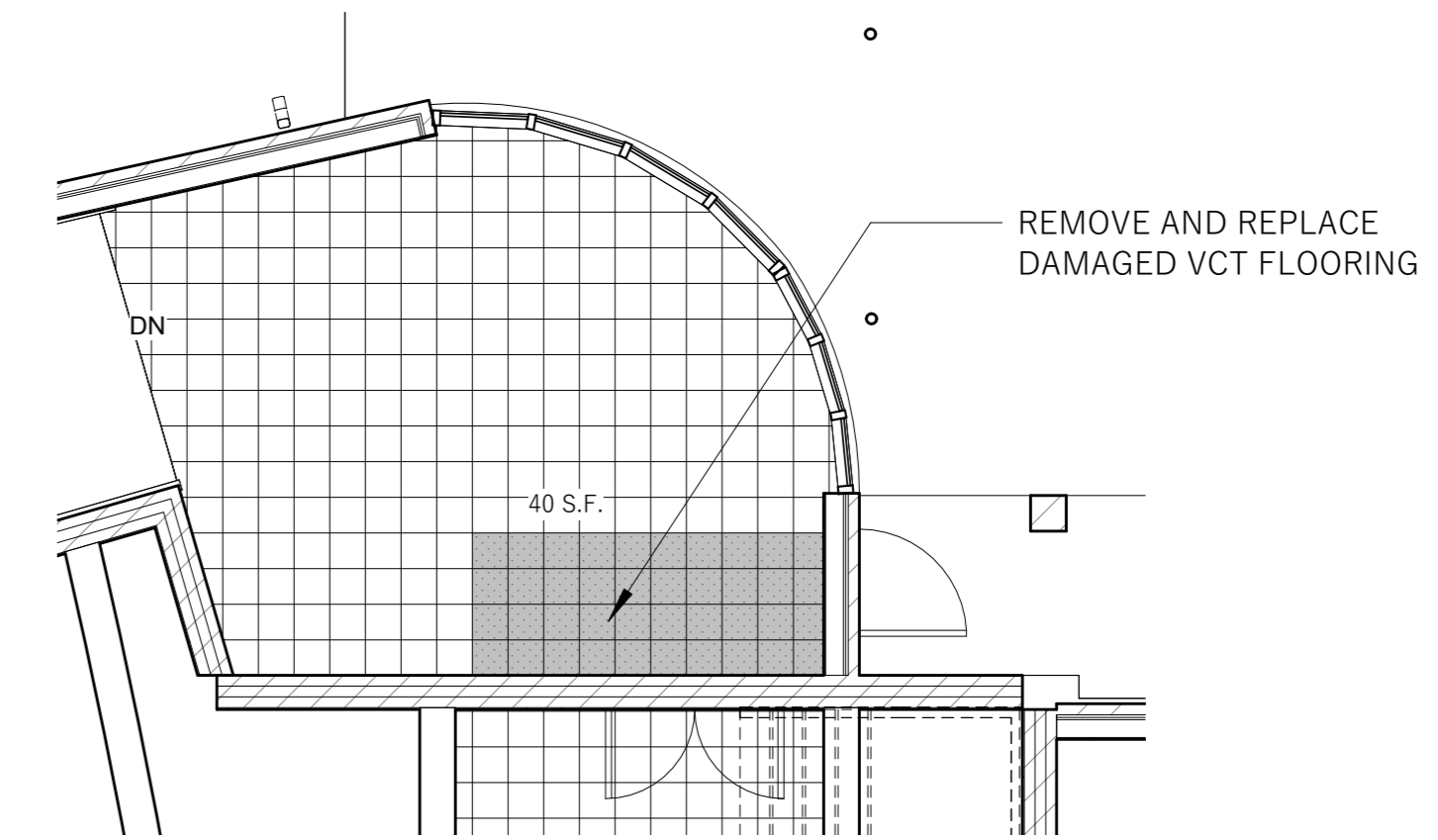
1. INTERIOR FINISHES TO BE REPAIRED AFTER ROOF REPLACEMENT.
2. CONTRACTOR TO PROVIDE UNIT COST FOR ADDITIONAL REPAIR, REPLACEMENT, REPAINTING, ETC. PER SPECIFICATION SECTION 012200.
3. WHERE A REPAIR IS REQUIRED, CONTRACTOR TO PAINT THE ENTIRE CEILING/ WALL PLANE FROM CORNER TO CORNER, WALL TO WALL, CEILING TO CEILING.
4. CONTRACTOR TO PROVIDE ARCHITECT WITH LIGHTING SPEC. FOR REVIEW & APPROVAL PRIOR TO COMMENCEMENT OF WORK.



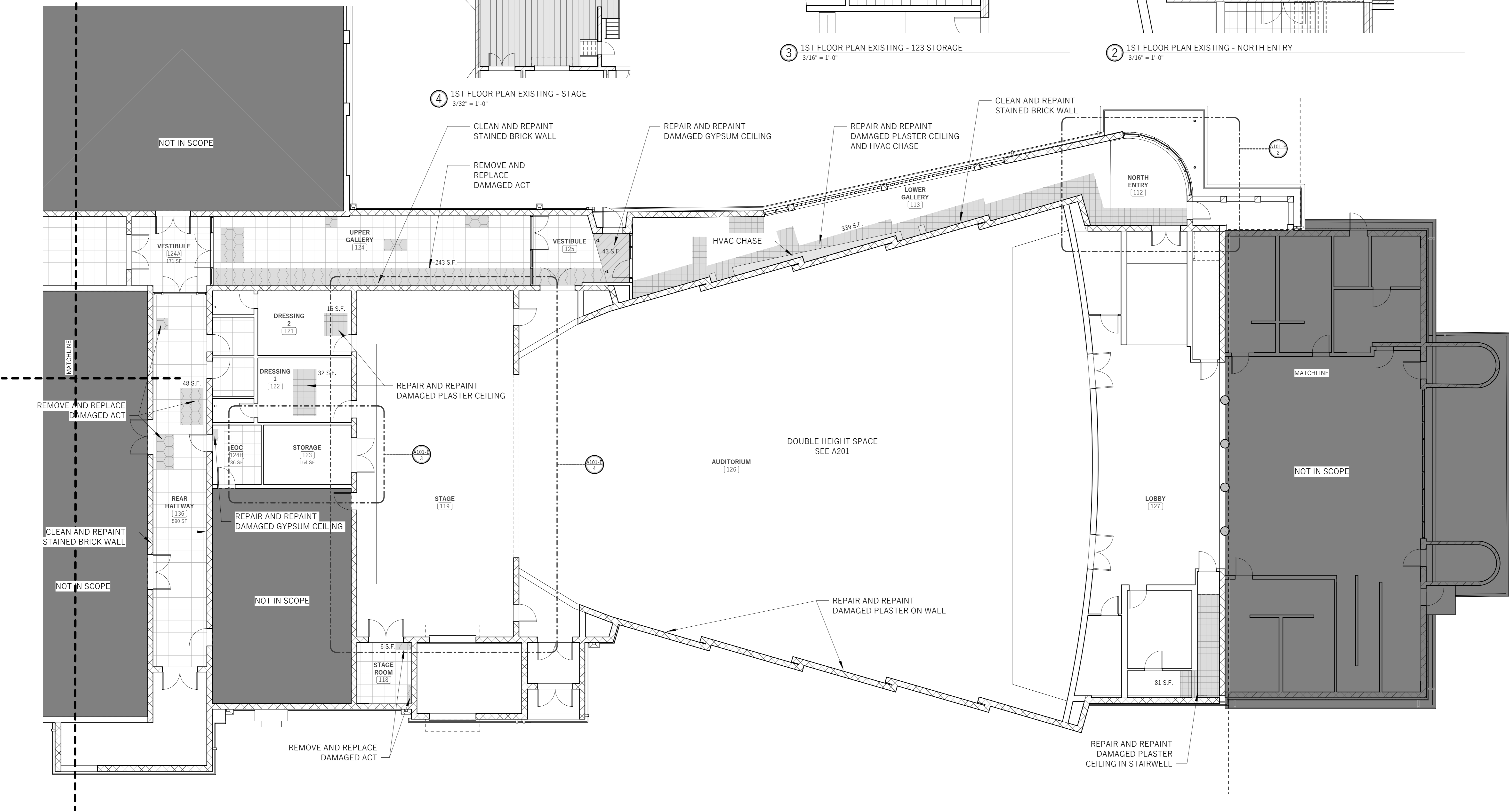
4 1ST FLOOR PLAN EXISTING - STAGE
3/32" = 1'-0"



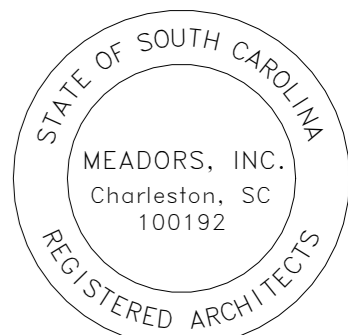
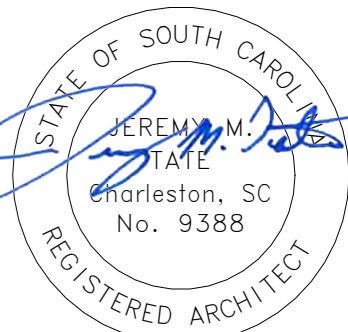
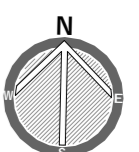
3 1ST FLOOR PLAN EXISTING - 123 STORAGE
3/16" = 1'-0"



2 1ST FLOOR PLAN EXISTING - NORTH ENTRY
3/16" = 1'-0"



1 1ST FLOOR EXISTING RCP - AUDITORIUM
1/8" = 1'-0"



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FIRST FLOOR PLANS & RCP - EXISTING

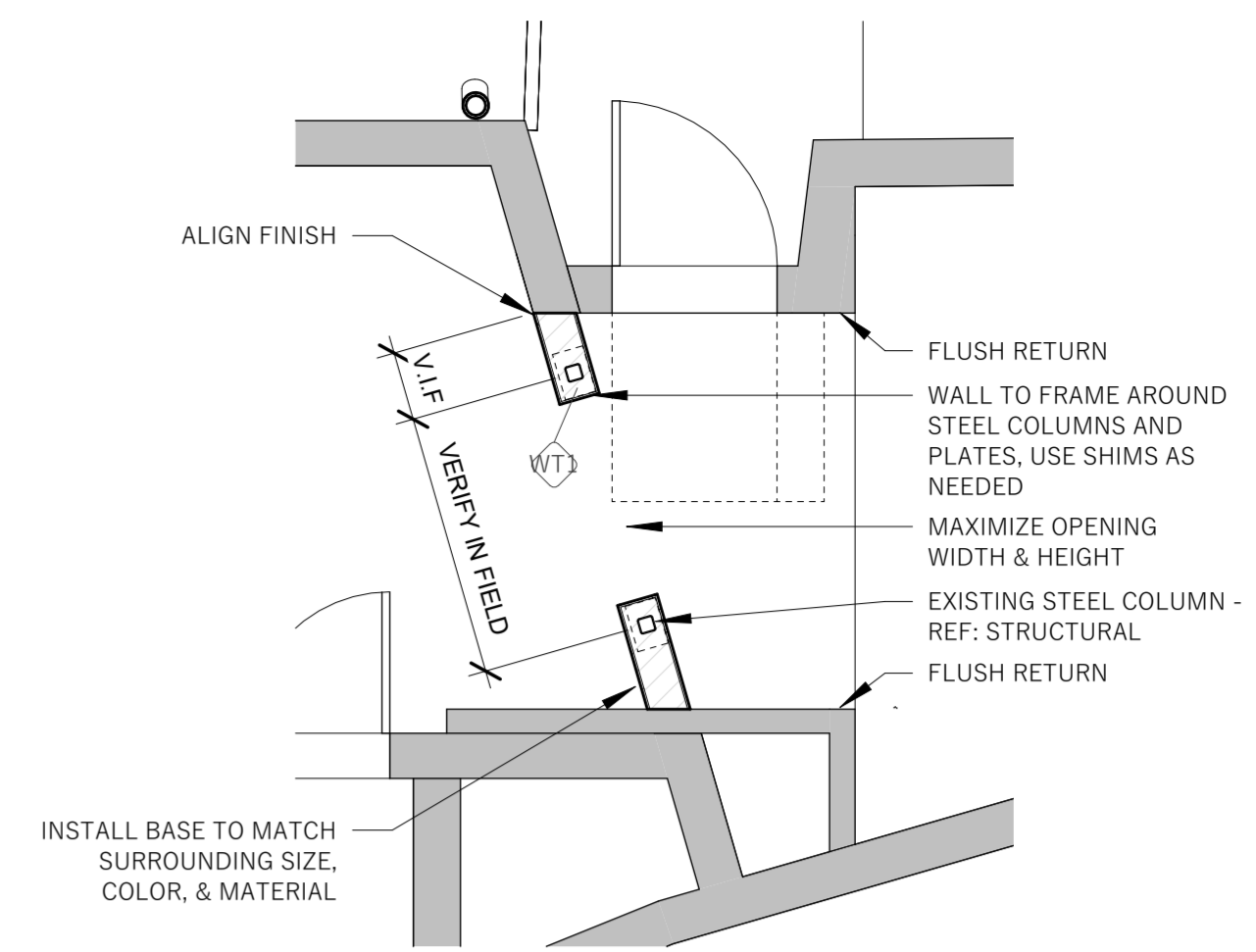
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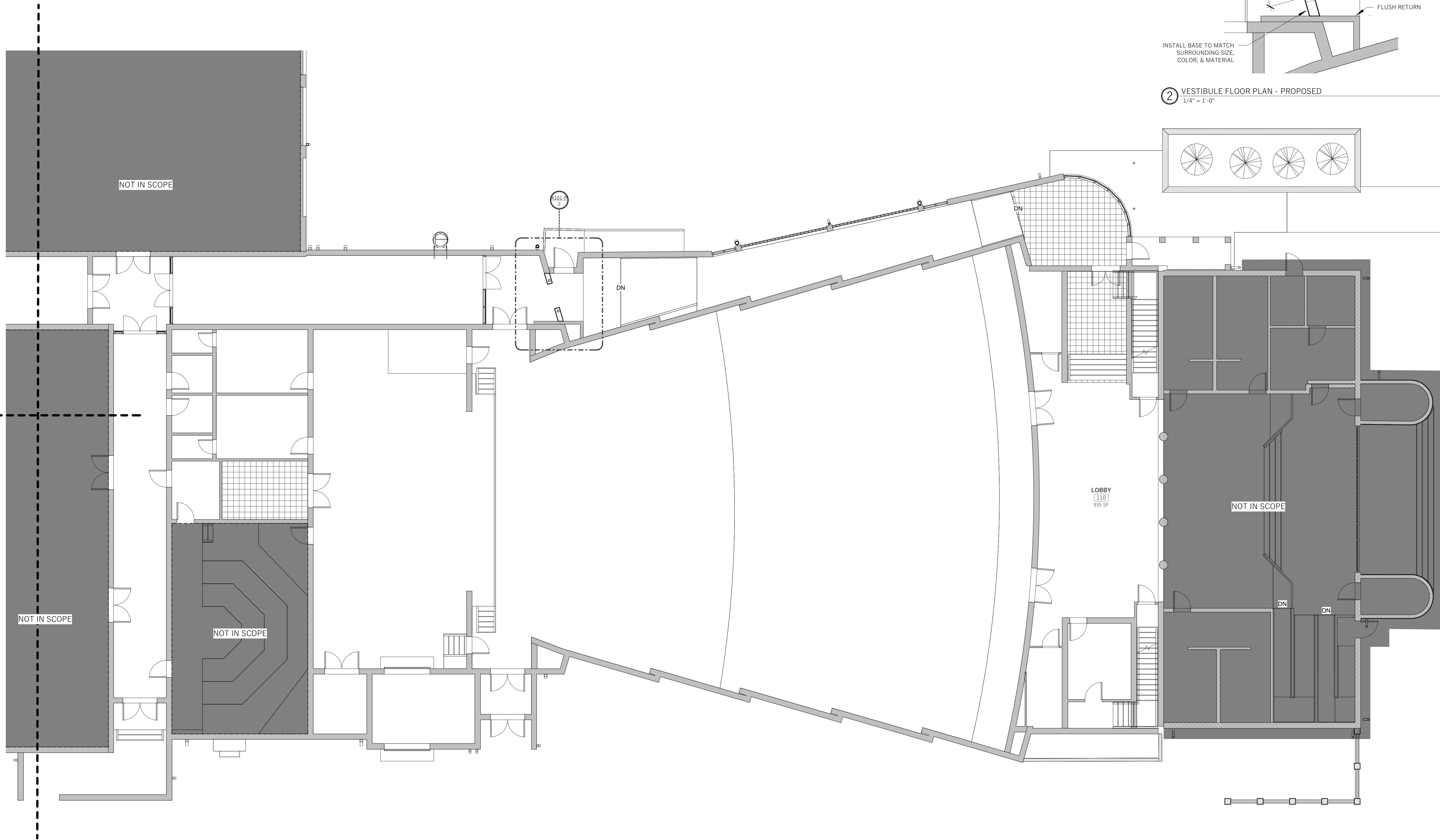
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NOTES

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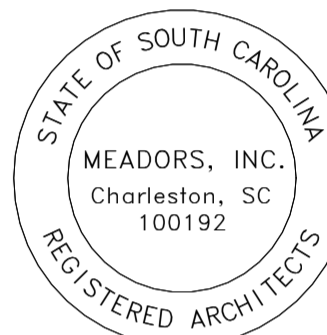


② VESTIBULE FLOOR PLAN - PROPOSED
1/4" = 1'-0"



① PROPOSED FLOOR PLAN
1/8" = 1'-0"

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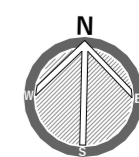
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FIRST FLOOR
PLAN -
PROPOSED

A101-P



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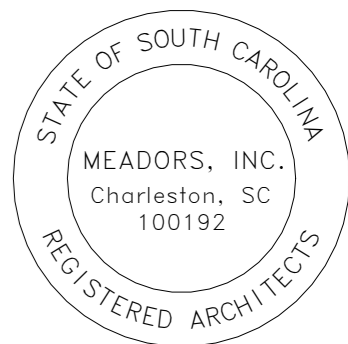
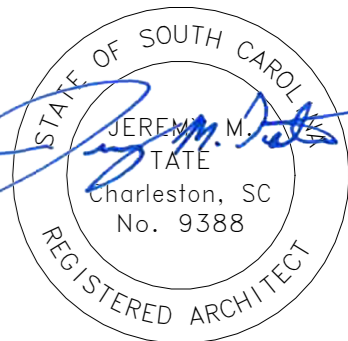
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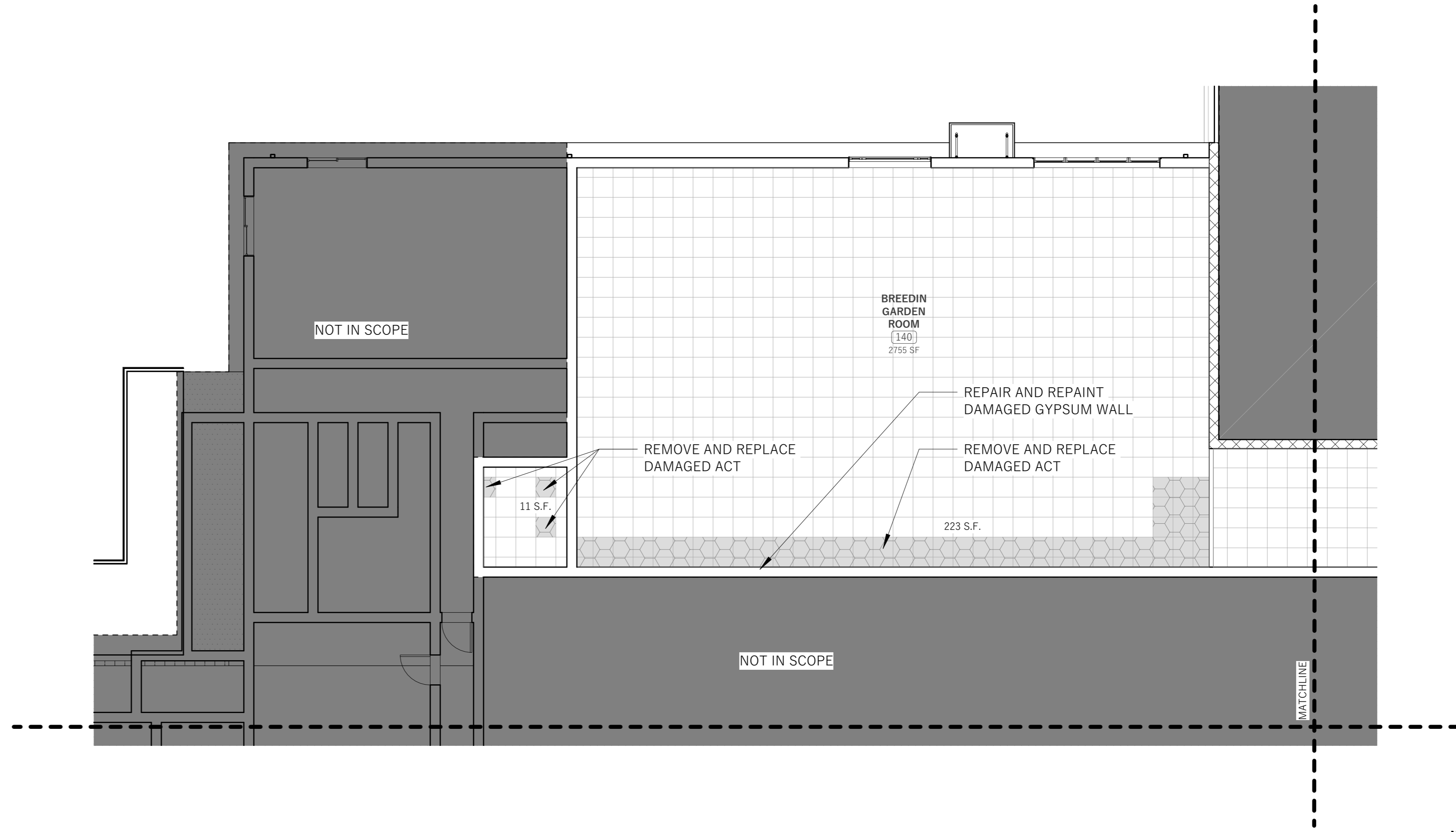
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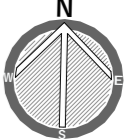
REVISIONS		
#	DATE	NOTES

FIRST FLOOR
RCP - EXISTING

A102-E



① 1ST FLOOR EXISTING RCP - BREEDIN GARDEN ROOM
1/8" = 1'-0"



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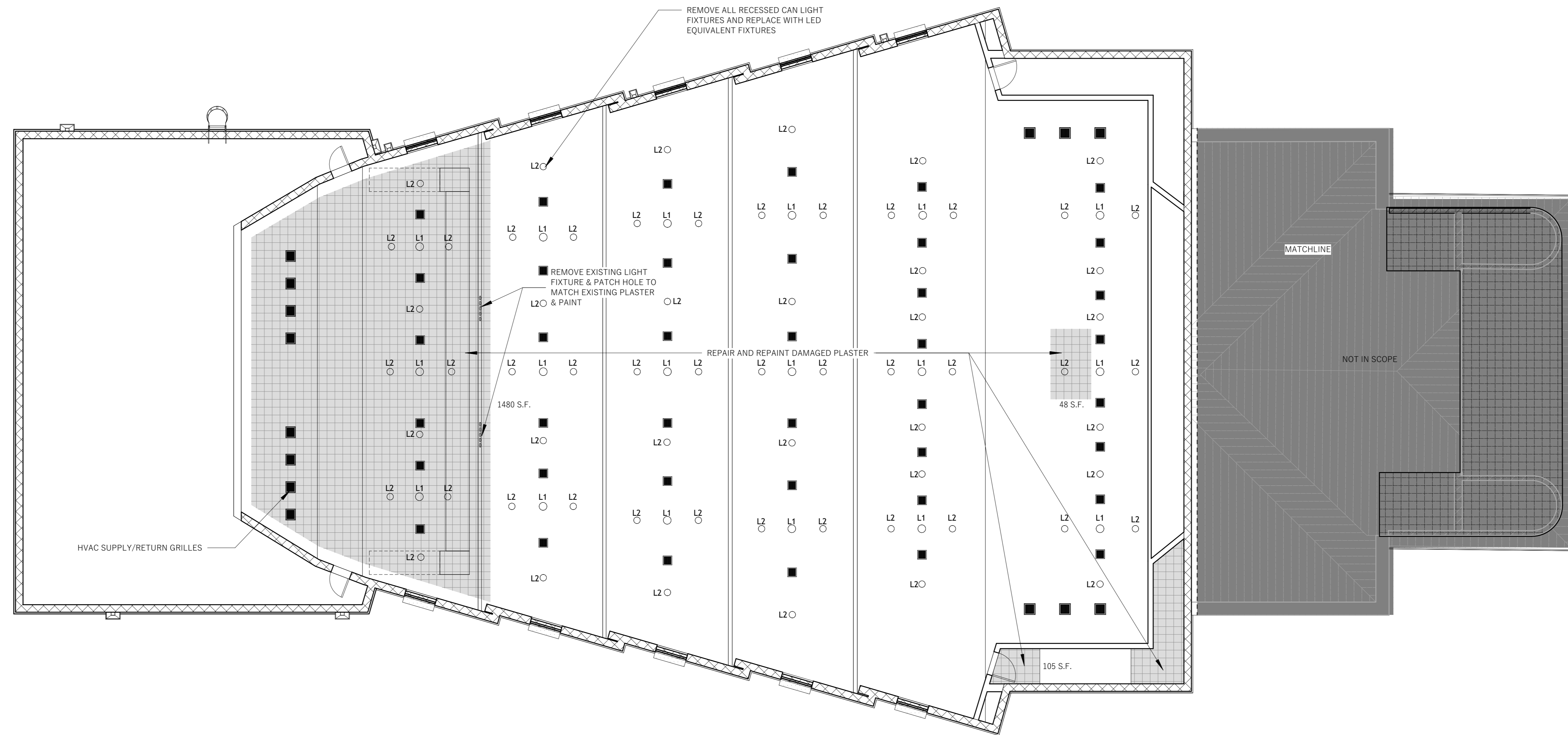
SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"X36"

NOTES

1. INTERIOR FINISHES TO BE REPAIRED AFTER ROOF REPLACEMENT.
2. CONTRACTOR TO PROVIDE UNIT COST FOR ADDITIONAL REPAIR, REPLACEMENT, REPAINTING, ETC. PER SPECIFICATION SECTION 012200.
3. WHERE A REPAIR IS REQUIRED, CONTRACTOR TO PAINT THE ENTIRE CEILING/ WALL PLANE FROM CORNER TO CORNER, WALL TO WALL, CEILING TO CEILING.
4. CONTRACTOR TO PROVIDE ARCHITECT WITH LIGHTING SPEC. FOR REVIEW & APPROVAL PRIOR TO COMMENCEMENT OF WORK.



2 UNUSED PENETRATIONS IN AUDITORIUM CEILING
3" = 1'-0"



1 2ND FLOOR EXISTING RCP - AUDITORIUM
1/8" = 1'-0"

LIGHTING SCHEDULE

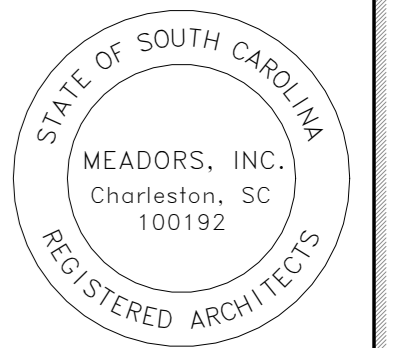
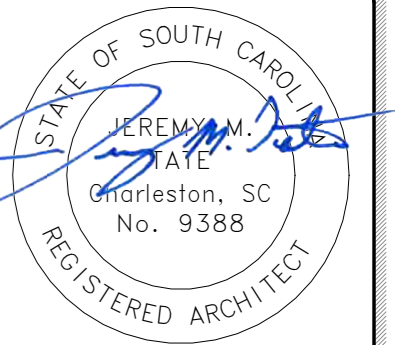
Type Mark	Description	Count
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L1	12" Recessed Can Light	18
L2	10" Recessed Can Light	64

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8565
Architecture ■ Construction ■ Design Services ■ Cabinetry & Millwork ■ Commission & Preservation Planning ■ Estate Management



WELDON AUDITORIUM RENOVATIONS

7 Maple Street
Manning, SC 29102

PERMIT

PROJ. NO. 21-0053
ISSUE DATE: 01/31/25

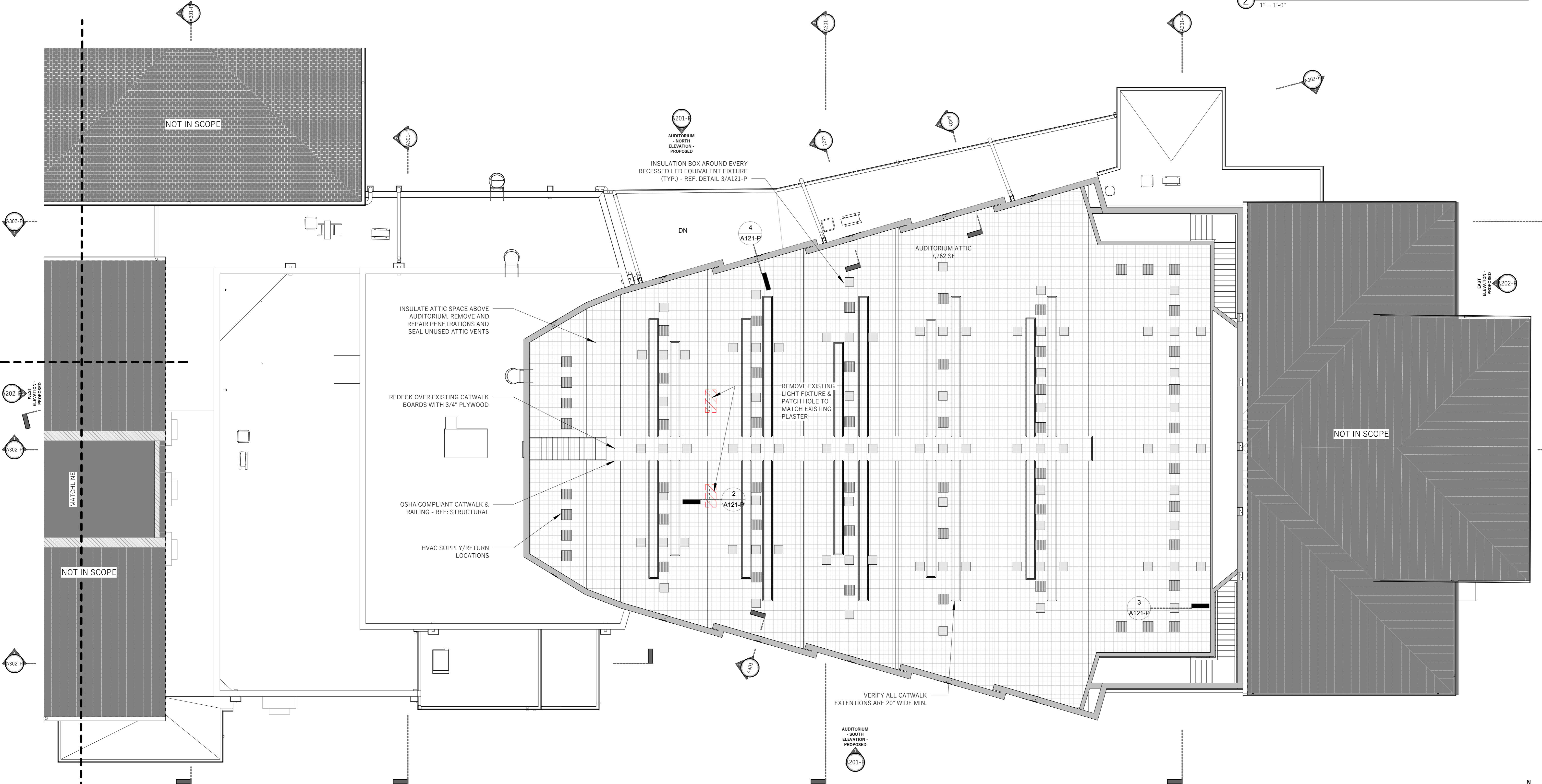
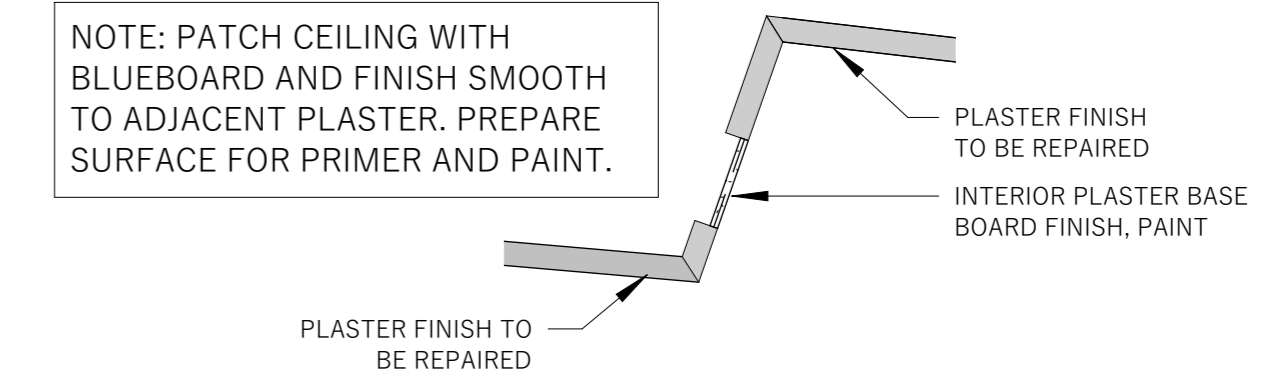
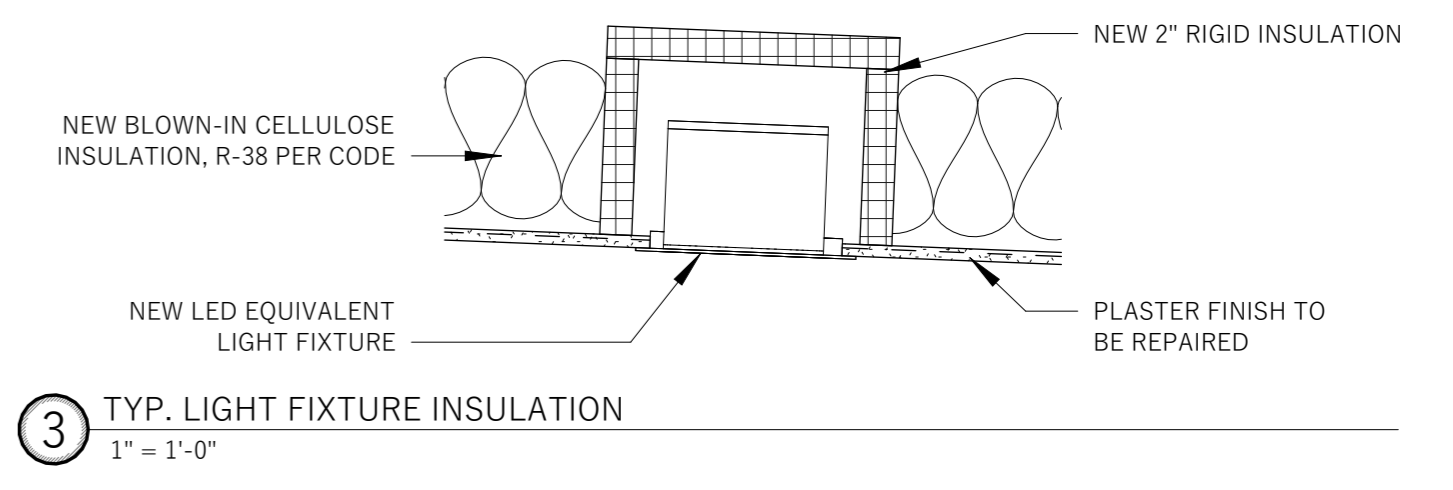
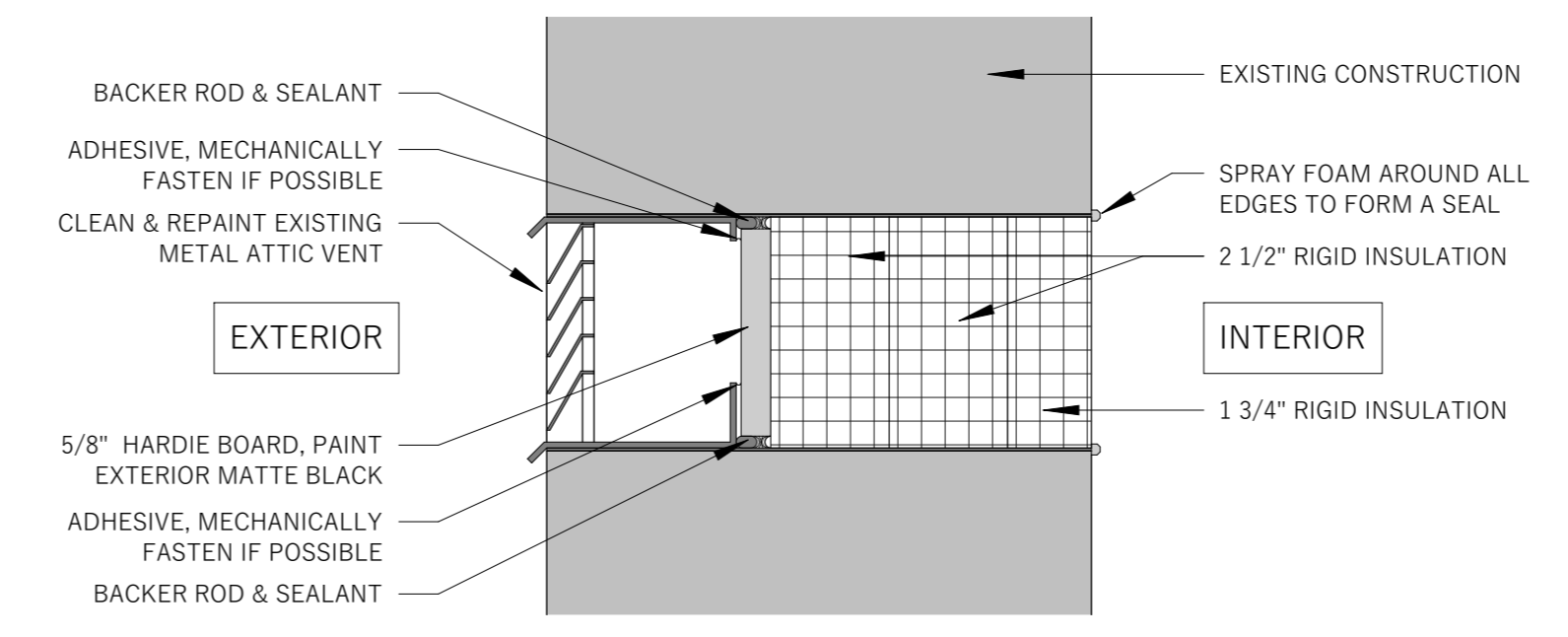
REVISIONS

#	DATE	NOTES
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SECOND FLOOR RCP - EXISTING

A111-E



KEYNOTES

- 1 REPOINT 100% HATCHED MASONRY.
- 1.2 REPAIR MORTAR AT GLASS BLOCKS.
- 2 FRAME ENCLOSURE AROUND EXISTING HVAC DUCT, SEE SHEET A421.
- 3 FLASH REENTRANT CORNERS, SEE SHEET A503, DETAIL 6.
- 4 REPLACE STEEL LINTEL, SEE SHEET S-5.
- 5 INSTALL GUTTER AT ROOF L, APPROXIMATELY 330 L.F.
- 5.1 INSTALL GUTTER AT ROOF J, APPROXIMATELY 200 L.F.
- 5.2 INSTALL GUTTER AT ROOF K, APPROXIMATELY 150 L.F.
- 5.3 INSTALL GUTTER AT ROOF P, APPROXIMATELY 46 L.F.
- 5.4 INSTALL GUTTER AT ROOF O, APPROXIMATELY 16 L.F.
- 5.5 INSTALL GUTTER AT ROOF N, APPROXIMATELY 99 L.F.
- 5.6 INSTALL GUTTER AT ROOF M, APPROXIMATELY 26 L.F.
- 5.7 INSTALL GUTTER AT ROOF G, APPROXIMATELY 47 L.F.
- 6 COVER EXPOSED PERMA BARRIER WITH 2-PLY SBS MEMBRANE, SEE SHEET A402, DETAIL 3.

- 7 RELOCATE PLUMBING STACK AT 12" MIN. FROM EDGE OF WALL, SEE SHEET A502, DETAIL 5.
- 8 CLEAN, PREP, PRIME, & REPAINT ALL SURFACES. LIQUID FLASH ATTIC DOOR, SEE SHEET A402, DETAIL 1.
- 9 INSTALL NEW ACCESS LADDER PER MANUFACTURER'S INSTRUCTIONS.
- 10 REMOVE EIFS COATING, REPLACE WITH METAL PANELS OR SIMILAR PRODUCT, SEE SHEET A402, DETAIL 2.
- 11 REMOVE EIFS COATING, REPLACE WITH FIBER-CEMENT PANELS OR SIMILAR PRODUCT, SEE SHEET A401, DETAIL 4.
- 12 REMOVE EXISTING COPING STONE, INSTALL NEW METAL COPING, SEE SHEET A501, DETAIL 1.
- 13 REMOVE EXISTING COPING STONE, EXTEND PARAPET WALL HEIGHT, INSTALL NEW METAL COPING, SEE SHEET A501, DETAIL 1.
- 14 CONSTRUCT AREA DIVIDER TO DIVERT ROOF DRAINAGE, SEE SHEET A402, DETAIL 5.
- 15 RECAP EXISTING ROOF EXPANSION JOINT/AREA DIVIDER, SEE SHEET A502, DETAIL 1.
- 16 ADJUST DOWNSPOUT HEIGHT AS NEEDED FOR NEW ROOF PITCH AND DISCHARGE PIPING. TRANSITION FROM METAL DOWNSPOUT TO PVC PIPE TO OCCUR 4' FROM ROOF ELEVATION.
- 16.1 EXTEND DOWNSPOUT OVER ROOF W/ PVC PIPE AND UV PIPE JACKET TO DISCHARGE TO GROUND.





- 17 EXTEND DOWNSPOUT OVER ROOF W/ PVC PIPE AND UV PIPE JACKET TO NEW CONDUCTOR HEAD.
- 18 EXTEND DOWNSPOUT ALONG WALL AND DISCHARGE ON LOWER ROOF.
- 19 INSTALL NEW DOWNSPOUT & PVC PIPE TO DRAIN OUT OF COURTYARD.
- 20 EXTEND DOWNSPOUT ALONG WALL AND OVER EXISTING ROOF. DISCHARGE TO GROUND.
- 21 PROVIDE SPLASHBLOCK WHERE DOWNSPOUTS MEET GRADE.
- 22 REROUTE & INSTALL NEW PVC DRAIN PIPES FROM WALL HUNG HVAC UNITS TO DISCHARGE TO GROUND.
- 23 INSTALL NEW DOWNSPOUT TO DISCHARGE TO GROUND.
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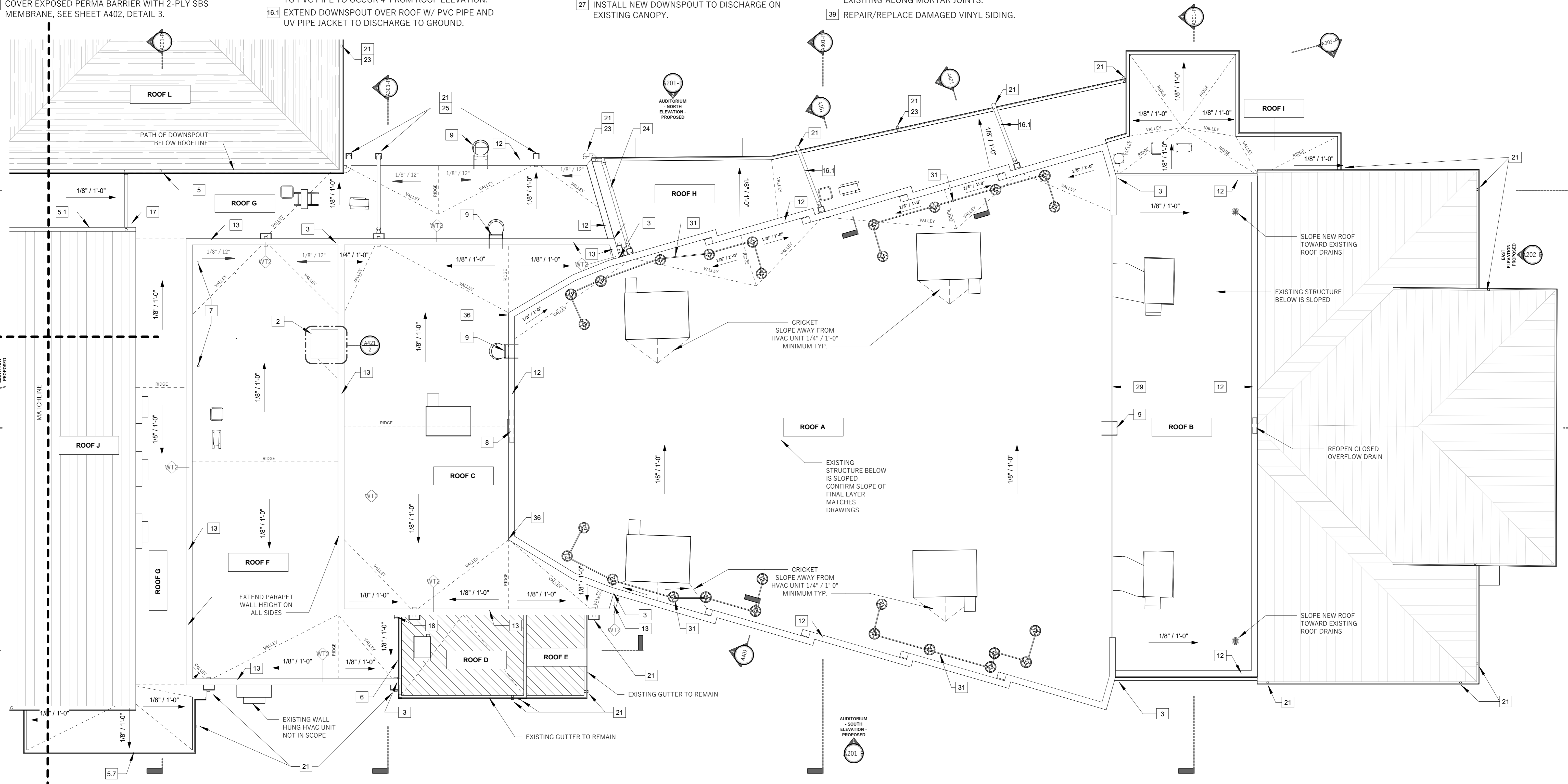
- 28 UNINSTALL AND REINSTALL EXISTING ATTIC HATCH AS NEEDED TO ACCOMMODATE REROOFING APPLICATION.
- 29 REMOVE METAL PARAPET WALL CLADDING AND PREPARE FOR NEW WALL CLADDING SYSTEM, SEE SHEET A403, DETAIL 3.
- 30 INSTALL STEP FLASHING OVER EXISTING ROOF.
- 31 INSTALL NEW NON-PENETRATING ROOF GUARD RAILS PER MANUFACTURER'S INSTRUCTIONS.
- 32 REPLACE DOOR TRIM & PAINT.
- 33 INSTALL NEW CANOPY.
- 34 INSTALL NEW GATE TO MATCH EXISTING IN STYLE, FINISH, AND MATERIAL.
- 35 INSTALL ALL NEW THROUGH WALL SCUPPERS.
- 36 INSTALL BACKER ROD & SEALANT AT CRACKED ANGLED CORNERS AS NEEDED. REPOINT ANY STEP CRACKING W/ MORTAR.
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- 38 INSTALL NEW LINTEL & ALIGN T.O. VENTS WITH EXISTING ALONG MORTAR JOINTS.
- 39 REPAIR/REPLACE DAMAGED VINYL SIDING.

GENERAL NOTES

1. WATERPROOF ALL ELECTRICAL PENETRATIONS THROUGH WALLS AND ROOFS WITHIN SCOPE OF THIS RENOVATION. ALL COUNTER FLASHING TO BE FULLY REGLETED.
2. GRADING IS NEEDED AT ALL BUILDING EDGES TO REROUTE WATER AWAY FROM FOUNDATION.
3. CLEAN/REPAINT ALL SOFFITS.
4. CLEAN/REPAINT ALL METAL EAVES.
5. REMOVE ALL BIOGROWTH WITHIN PROJECT SCOPE.
6. CLEAN DEBRIS FROM TOP OF AWNING AND PATHWAY COVERINGS AROUND THE BUILDING.

ROOF MATERIAL LEGEND

-  ASPHALT SHINGLE ROOF
-  SINGLE-PLY MEMBRANE ROOF (EXISTING)
-  SINGLE-PLY MEMBRANE ROOF (NEW)
-  METAL STANDING SEAM ROOF



1 PROPOSED ROOF PLAN - AUDITORIUM
1/8" = 1'-0"

REVISIONS		
#	DATE	NOTES

SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"X36"

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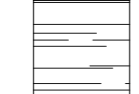
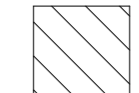
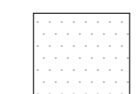
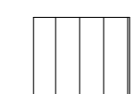
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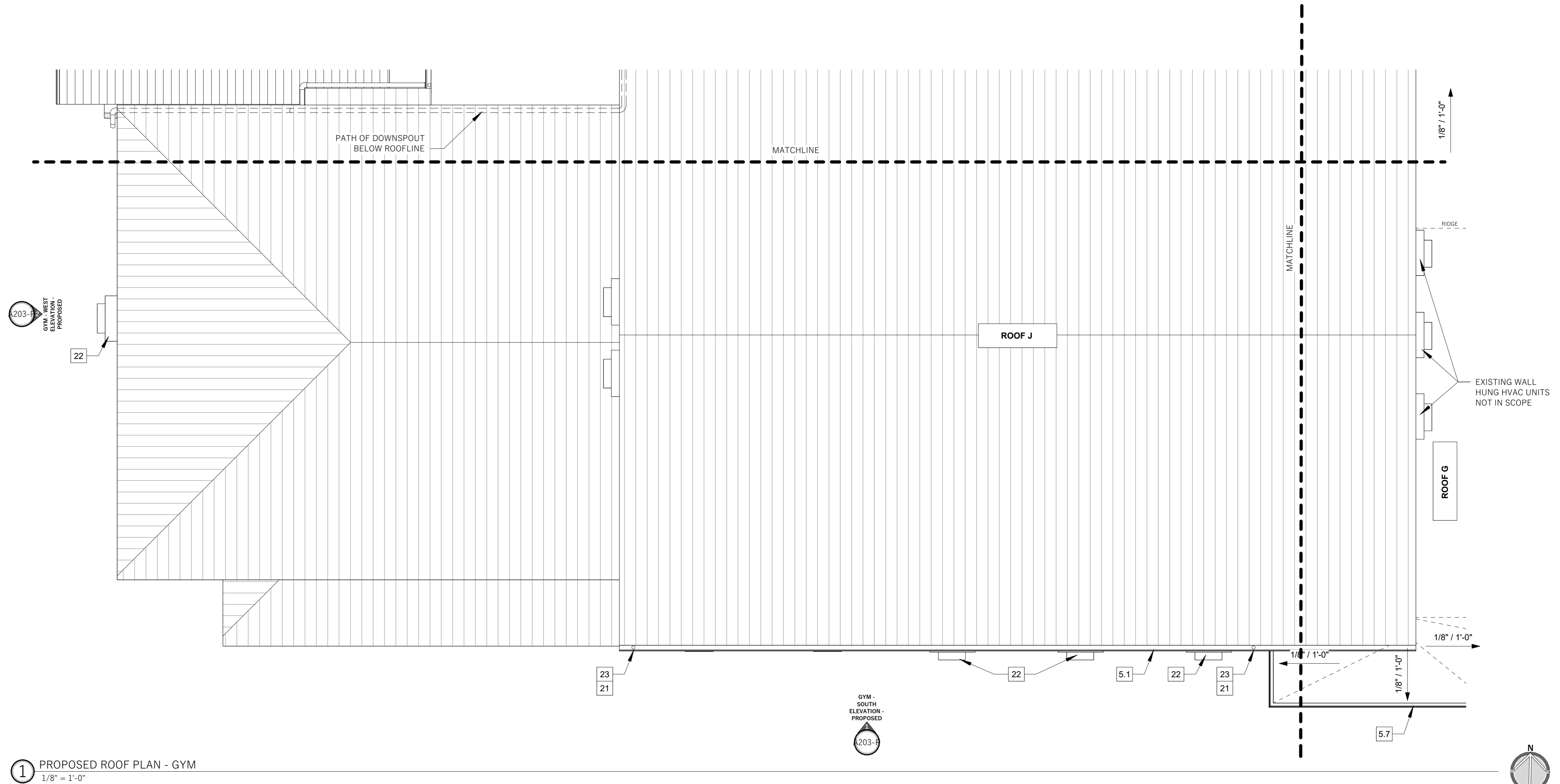
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GENERAL NOTES

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6. REMOVE ALL BIOGROWTH WITHIN PROJECT SCOPE.
7. CLEAN DEBRIS FROM TOP OF AWNINGS AND PATHWAY COVERINGS AROUND THE BUILDING.

ROOF MATERIAL LEGEND

-  ASPHALT SHINGLE ROOF
-  SINGLE-PLY MEMBRANE ROOF (EXISTING)
-  SINGLE-PLY MEMBRANE ROOF (NEW)
-  METAL STANDING SEAM ROOF



1 PROPOSED ROOF PLAN - GYM
1/8" = 1'-0"

MEADORS

SINCE 1984

STATE OF SOUTH CAROLINA
JEREMY M. MEADORS
REGISTERED ARCHITECT
No. 9388

STATE OF SOUTH CAROLINA
MEADORS, INC.
REGISTERED ARCHITECTS
Charleston, SC 100192

WELDON AUDITORIUM RENOVATIONS

7 Maple Street
Manning, SC 29102

PERMIT

PROJ. NO. 21-0053
ISSUE DATE: 01/31/25

REVISIONS

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PROPOSED ROOF PLAN

A123-P

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KEYNOTES

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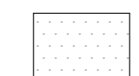

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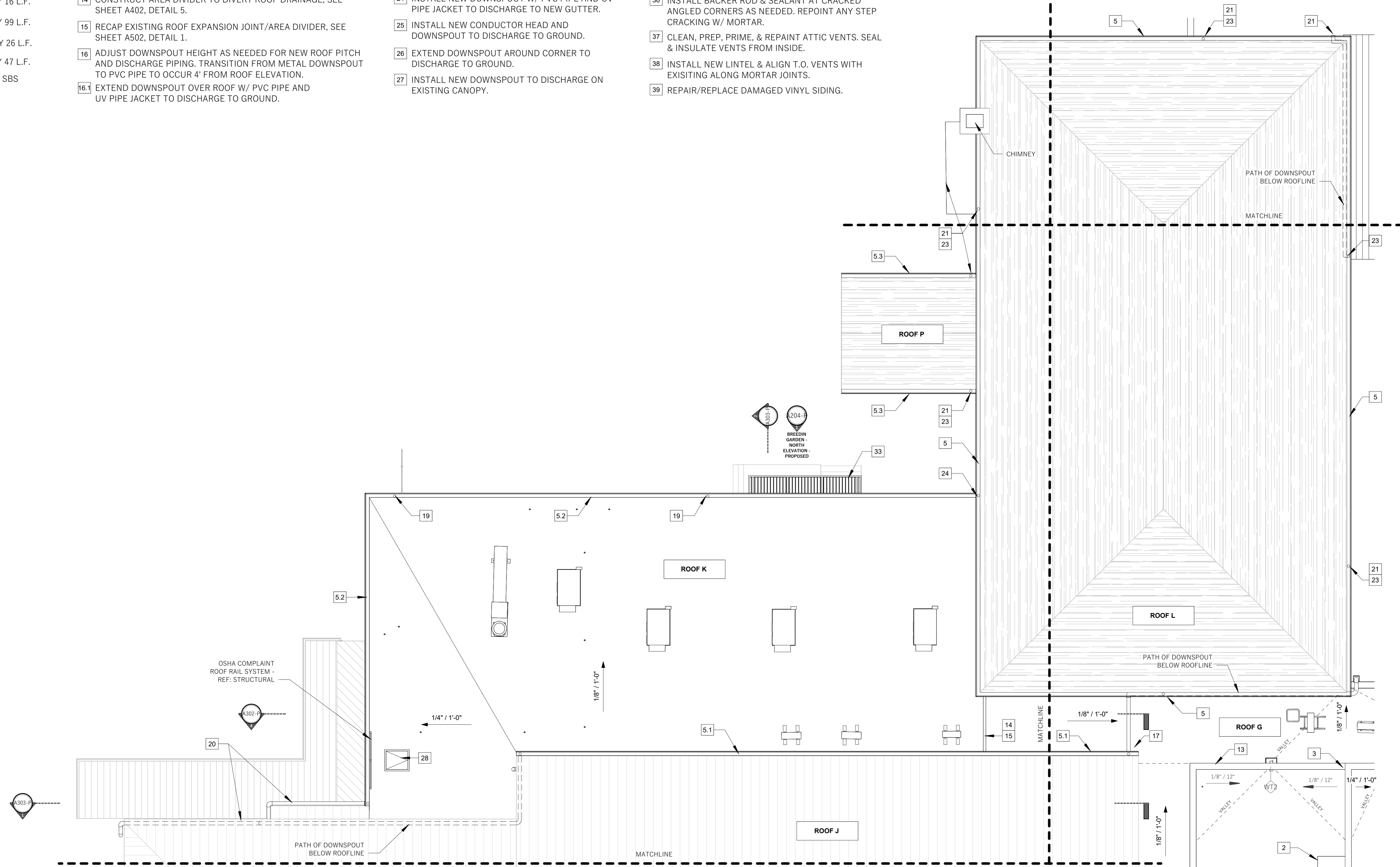
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ROOF MATERIAL LEGEND

-  ASPHALT SHINGLE ROOF
-  SINGLE-PLY MEMBRANE ROOF (EXISTING)
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-  METAL STANDING SEAM ROOF

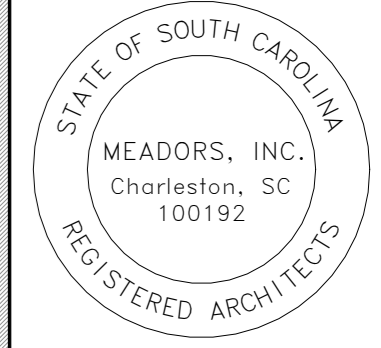
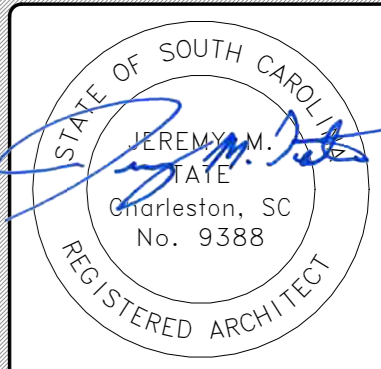


1 PROPOSED ROOF PLAN - BREEDIN GARDEN ROOM
1/8" = 1'-0"

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8565
Architecture ■ Construction ■ Design Services ■ Cabinetry & Millwork ■ Conservation & Preservation Planning ■ Estate Management



WELDON AUDITORIUM RENOVATIONS

7 Maple Street
Manning, SC 29102

PERMIT

PROJ. NO. 21-0053
ISSUE DATE: 01/31/25

REVISIONS

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PROPOSED ROOF PLAN

A124-P

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- 6 COVER EXPOSED PERMA BARRIER WITH 2-PLY SBS MEMBRANE, SEE SHEET A402, DETAIL 3.

- 7 RELOCATE PLUMBING STACK AT 12" MIN. FROM EDGE OF WALL, SEE SHEET A502, DETAIL 5.
- 8 CLEAN, PREP, PRIME, & REPAINT ALL SURFACES. LIQUID FLASH ATTIC DOOR, SEE SHEET A402, DETAIL 1.
- 9 INSTALL NEW ACCESS LADDER PER MANUFACTURER'S INSTRUCTIONS.
- 10 REMOVE EIFS COATING, REPLACE WITH METAL PANELS OR SIMILAR PRODUCT, SEE SHEET A402, DETAIL 2.
- 11 REMOVE EIFS COATING, REPLACE WITH FIBER-CEMENT PANELS OR SIMILAR PRODUCT, SEE SHEET A401, DETAIL 4.
- 12 REMOVE EXISTING COPING STONE, INSTALL NEW METAL COPING, SEE SHEET A501, DETAIL 1.
- 13 REMOVE EXISTING COPING STONE, EXTEND PARAPET WALL HEIGHT, INSTALL NEW METAL COPING, SEE SHEET A501, DETAIL 1.
- 14 CONSTRUCT AREA DIVIDER TO DIVERT ROOF DRAINAGE, SEE SHEET A402, DETAIL 5.
- 15 RECAP EXISTING ROOF EXPANSION JOINT/AREA DIVIDER, SEE SHEET A502, DETAIL 1.
- 16 ADJUST DOWNSPOUT HEIGHT AS NEEDED FOR NEW ROOF PITCH AND DISCHARGE PIPING. TRANSITION FROM METAL DOWNSPOUT TO PVC PIPE TO OCCUR 4' FROM ROOF ELEVATION.
- 16.1 EXTEND DOWNSPOUT OVER ROOF W/ PVC PIPE AND UV PIPE JACKET TO DISCHARGE TO GROUND.

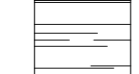

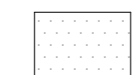
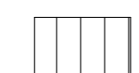
- 17 EXTEND DOWNSPOUT OVER ROOF W/ PVC PIPE AND UV PIPE JACKET TO NEW CONDUCTOR HEAD.
- 18 EXTEND DOWNSPOUT ALONG WALL AND DISCHARGE ON LOWER ROOF.
- 19 INSTALL NEW DOWNSPOUT & PVC PIPE TO DRAIN OUT OF COURTYARD.
- 20 EXTEND DOWNSPOUT ALONG WALL AND OVER EXISTING ROOF. DISCHARGE TO GROUND.
- 21 PROVIDE SPLASHBLOCK WHERE DOWNSPOUTS MEET GRADE.
- 22 REROUTE & INSTALL NEW PVC DRAIN PIPES FROM WALL HUNG HVAC UNITS TO DISCHARGE TO GROUND.
- 23 INSTALL NEW DOWNSPOUT TO DISCHARGE TO GROUND.
- 24 INSTALL NEW DOWNSPOUT W/ PVC PIPE AND UV PIPE JACKET TO DISCHARGE TO NEW GUTTER.
- 25 INSTALL NEW CONDUCTOR HEAD AND DOWNSPOUT TO DISCHARGE TO GROUND.
- 26 EXTEND DOWNSPOUT AROUND CORNER TO DISCHARGE TO GROUND.
- 27 INSTALL NEW DOWNSPOUT TO DISCHARGE ON EXISTING CANOPY.

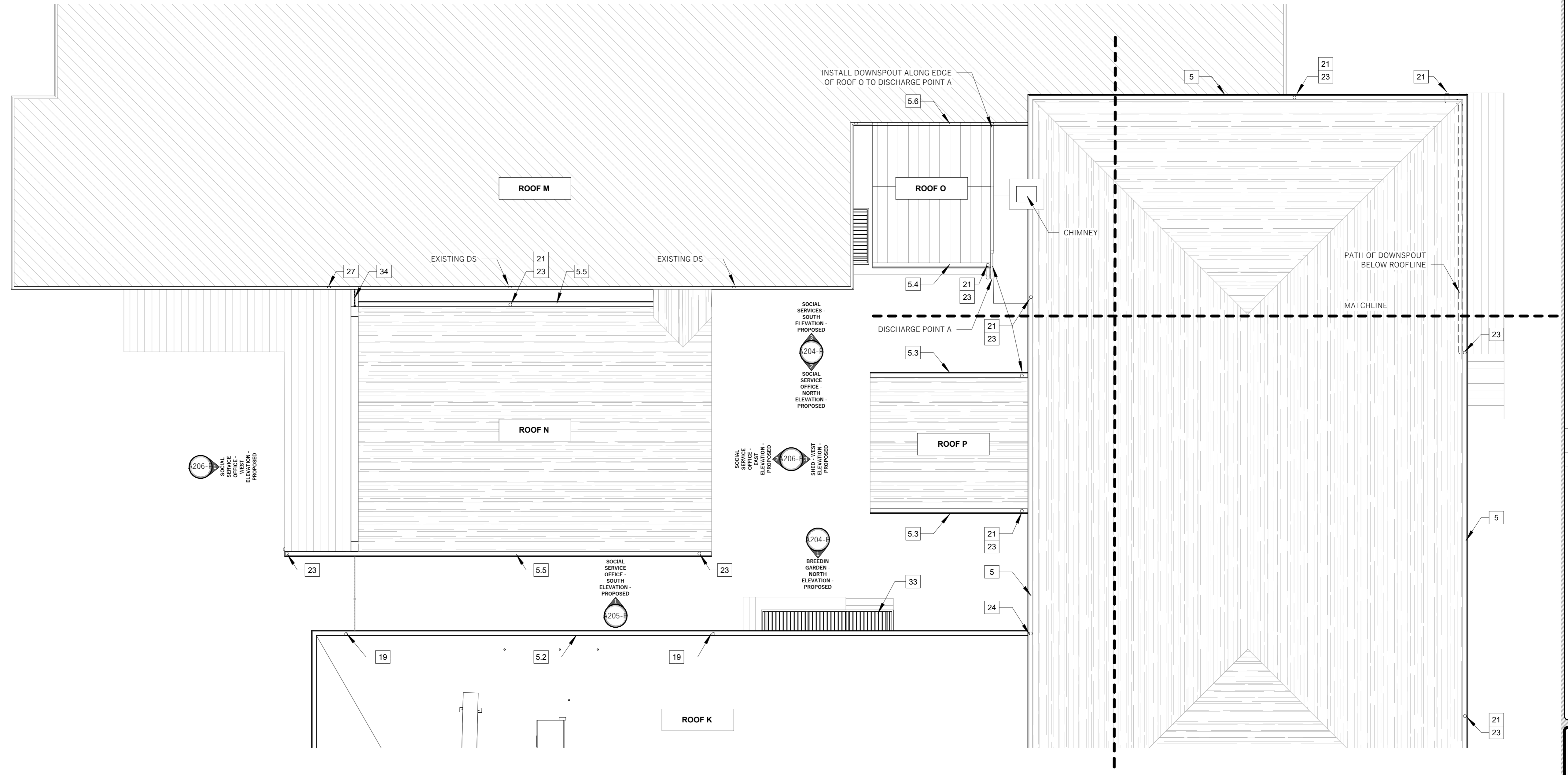
- 28 UNINSTALL AND REINSTALL EXISTING ATTIC HATCH AS NEEDED TO ACCOMMODATE REROOFING APPLICATION.
- 29 REMOVE METAL PARAPET WALL CLADDING AND PREPARE FOR NEW WALL CLADDING SYSTEM, SEE SHEET A403, DETAIL 3.
- 30 INSTALL STEP FLASHING OVER EXISTING ROOF.
- 31 INSTALL NEW NON-PENETRATING ROOF GUARD RAILS PER MANUFACTURER'S INSTRUCTIONS.
- 32 REPLACE DOOR TRIM & PAINT.
- 33 INSTALL NEW CANOPY.
- 34 INSTALL NEW GATE TO MATCH EXISTING IN STYLE, FINISH, AND MATERIAL.
- 35 INSTALL ALL NEW THROUGH WALL SCUPPERS.
- 36 INSTALL BACKER ROD & SEALANT AT CRACKED ANGLED CORNERS AS NEEDED. REPOINT ANY STEP CRACKING W/ MORTAR.
- 37 CLEAN, PREP, PRIME, & REPAINT ATTIC VENTS. SEAL & INSULATE VENTS FROM INSIDE.
- 38 INSTALL NEW LINTEL & ALIGN T.O. VENTS WITH EXISTING ALONG MORTAR JOINTS.
- 39 REPAIR/REPLACE DAMAGED VINYL SIDING.

GENERAL NOTES

1. WATERPROOF ALL ELECTRICAL PENETRATIONS THROUGH WALLS AND ROOFS WITHIN SCOPE OF THIS RENOVATION. ALL COUNTER FLASHING TO BE FULLY REGLETED.
2. GRADING IS NEEDED AT ALL BUILDING EDGES TO REROUTE WATER AWAY FROM FOUNDATION.
3. CLEAN/REPAINT ALL SOFFITS.
4. CLEAN/REPAINT ALL METAL EAVES.
5. REMOVE ALL BIOGROWTH WITHIN PROJECT SCOPE.
6. CLEAN DEBRIS FROM TOP OF AWNINGS AND PATHWAY COVERINGS AROUND THE BUILDING.

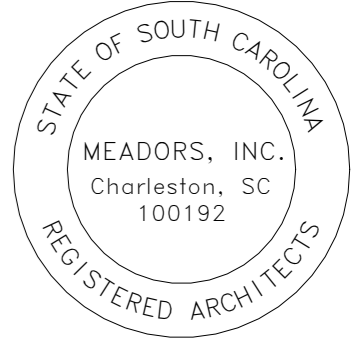
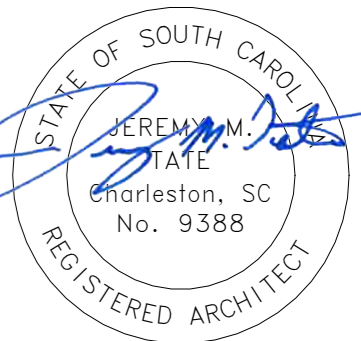
ROOF MATERIAL LEGEND

-  ASPHALT SHINGLE ROOF
-  SINGLE-PLY MEMBRANE ROOF (EXISTING)
-  SINGLE-PLY MEMBRANE ROOF (NEW)
-  METAL STANDING SEAM ROOF



1 PROPOSED ROOF PLAN - SPECIAL NEEDS BUILDING
1/8" = 1'-0"

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ISSUE DATE: 01/31/25

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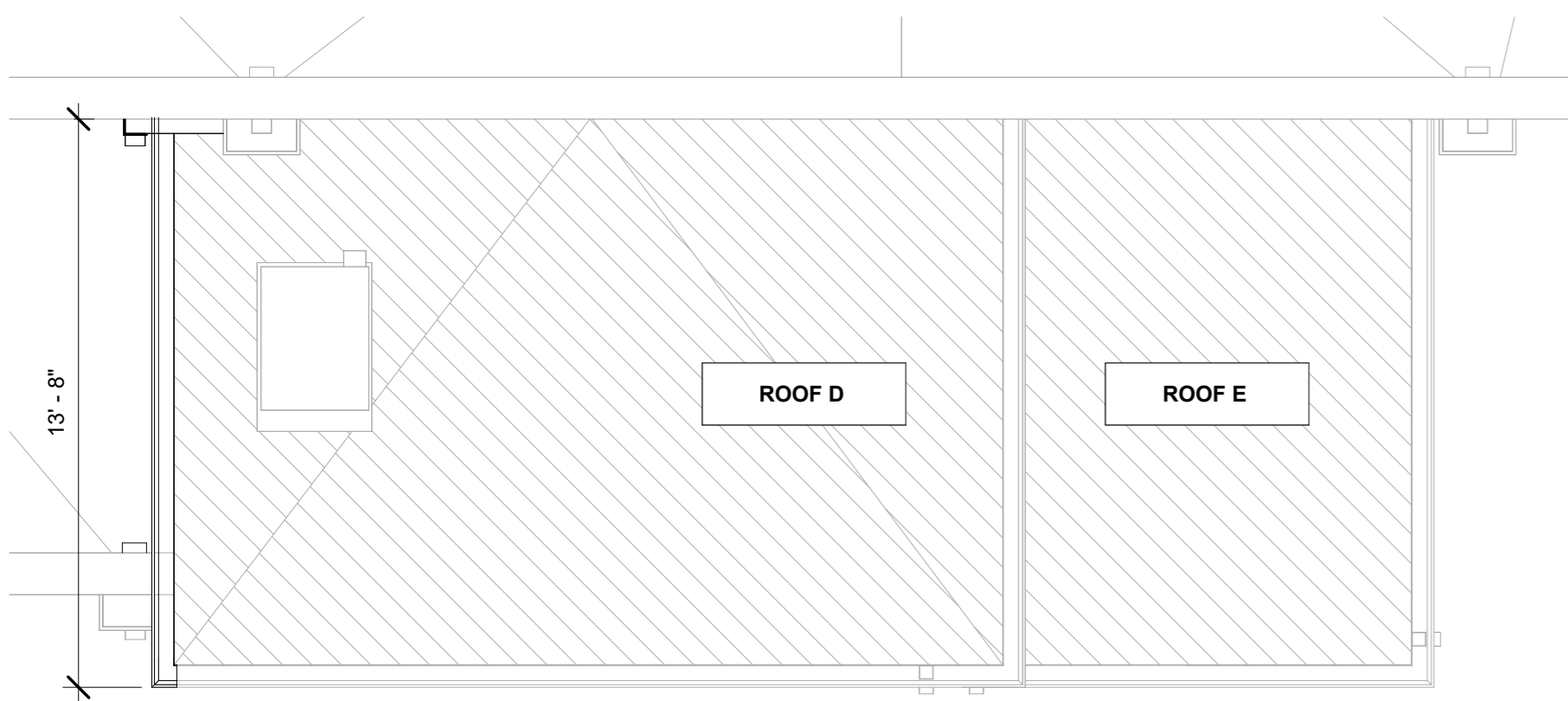
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PROPOSED ROOF PLAN

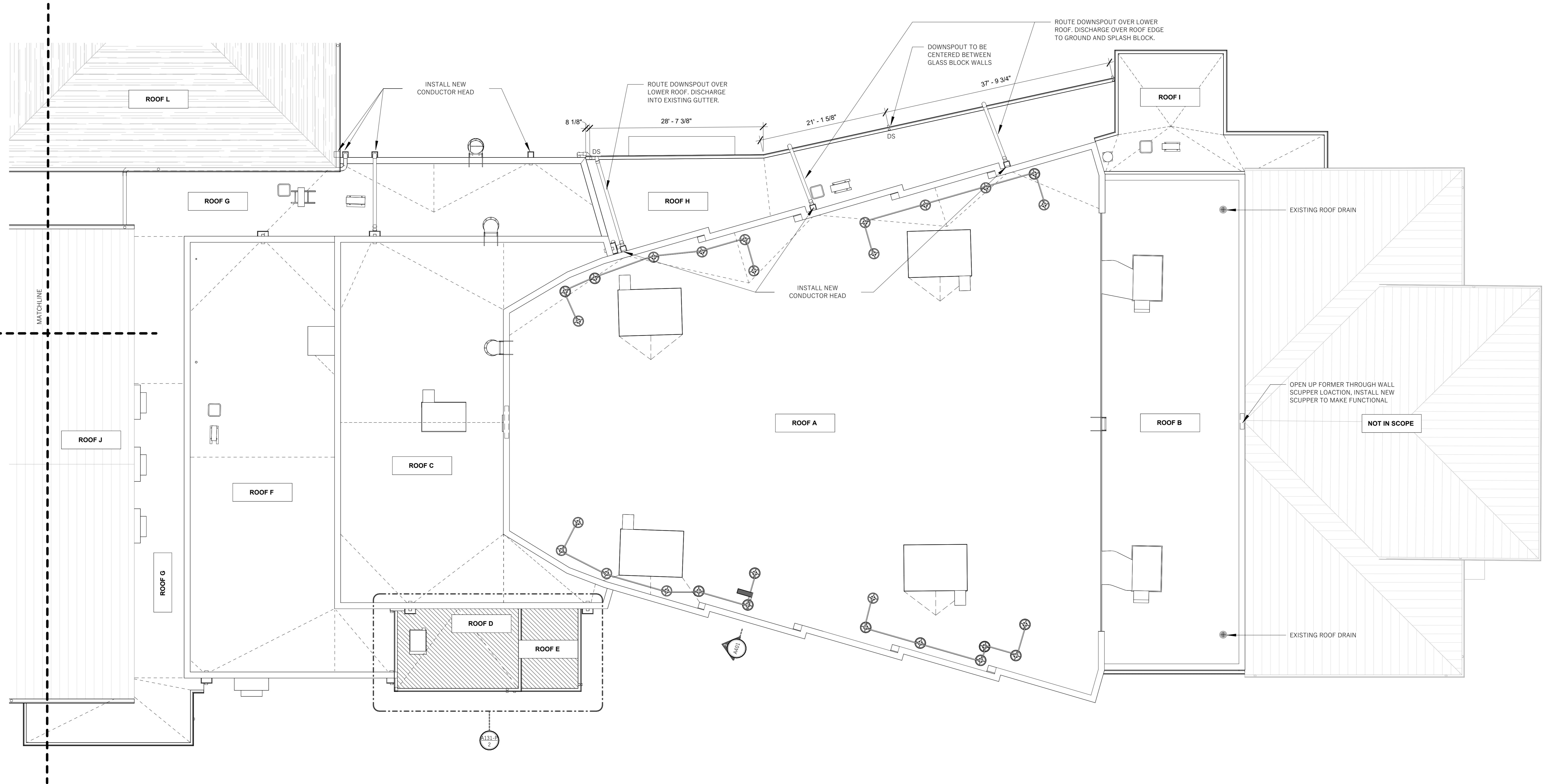
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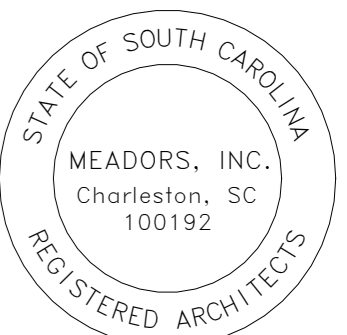
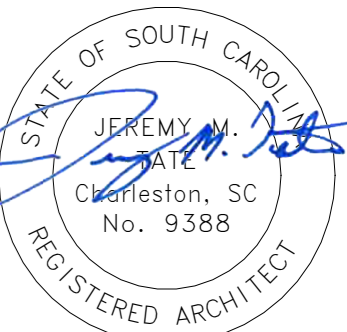
② PROPOSED GUTTER & DOWNSPOUT PLAN - LOADING
1/4" = 1'-0"



① PROPOSED GUTTER & DOWNSPOUT PLAN - AUDITORIUM
1/8" = 1'-0"

GENERAL PLUMBING NOTES

1. VERIFY ALL DIMENSIONS IN FIELD.
2. ALL NEW GUTTERS TO BE 8" W x 6" D METAL STYLE G, UNLESS NOTED OTHERWISE, COLOR TO MATCH EXISTING.
3. GUTTERS TO BE ATTACHED WITH FASCIA MOUNT BRACKETS.
4. ALL NEW DOWNSPOUTS TO BE 5" METAL PLAIN ROUND, UNLESS NOTED OTHERWISE, COLOR TO MATCH EXISTING.
5. ALL NEW CONDUCTOR HEADS TO BE METAL WITH 5" x 4" METAL PLAIN RECTANGLE DOWNSPOUT, COLOR TO MATCH EXISTING.
6. ALL EXTERIOR PVC PIPING TO BE 6" SCH 80.
7. ALL EXTERIOR PVC EXPOSED TO UV LIGHT TO BE SHIELDED BY THE INSTALLATION OF SMOOTH ALUMINUM PIPE JACKET WITH ASSOCIATED ELBOW, TEE, AND COUPLING COVERS. MANUFACTURERS SIMILAR TO JohnsManville, SPI (Specialty Products and Insulation), GLT Products, etc.

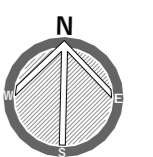


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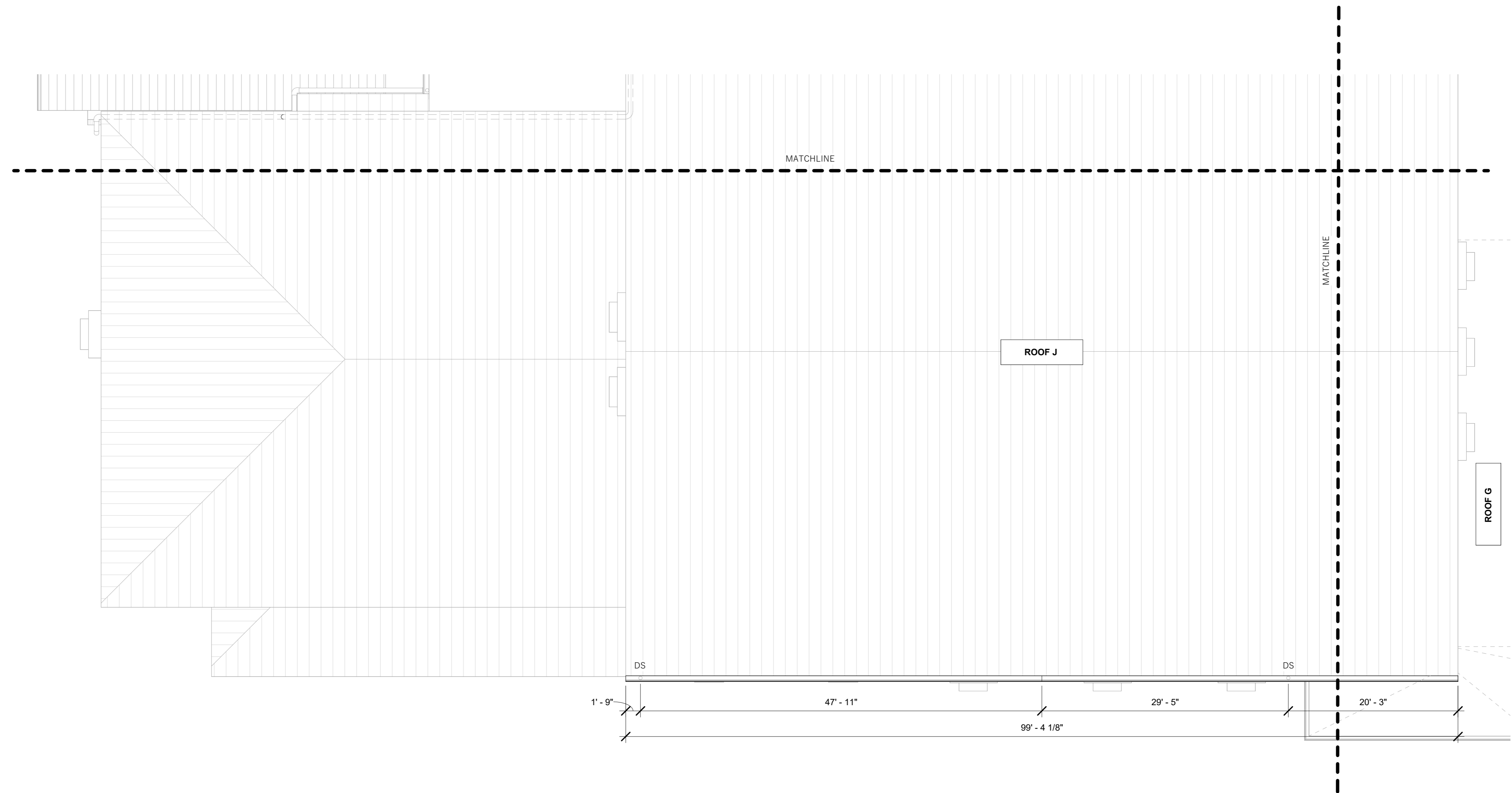


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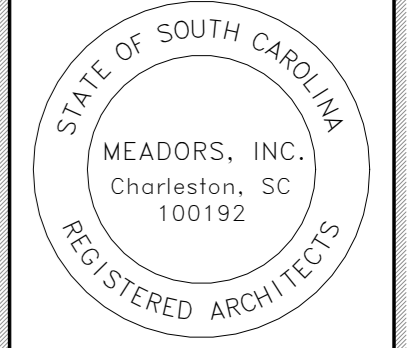
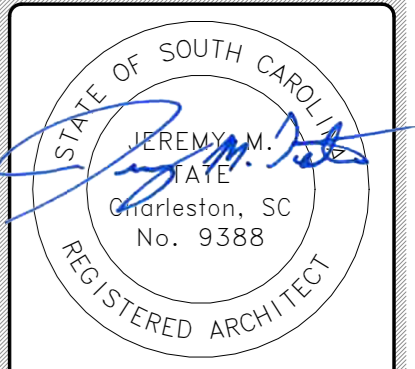
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1 PROPOSED GUTTER & DOWNSPOUT PLAN - GYM
1/8" = 1'-0"

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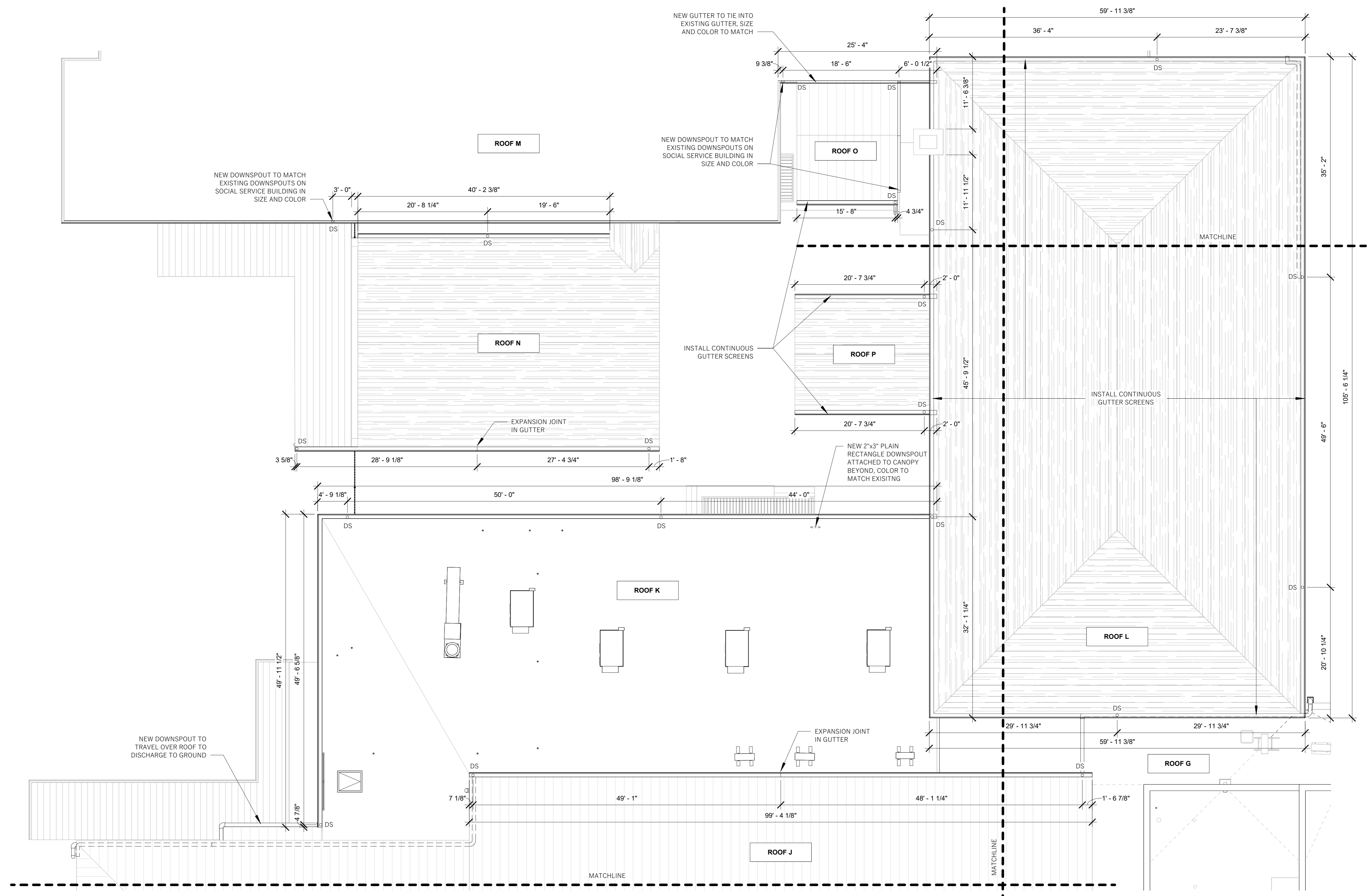
PROPOSED
GUTTER &
DOWNSPOUT
PLAN
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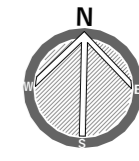
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GENERAL PLUMBING NOTES

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1 PROPOSED GUTTER & DOWNSPOUT PLAN - COURTYARD
1/8" = 1'-0"



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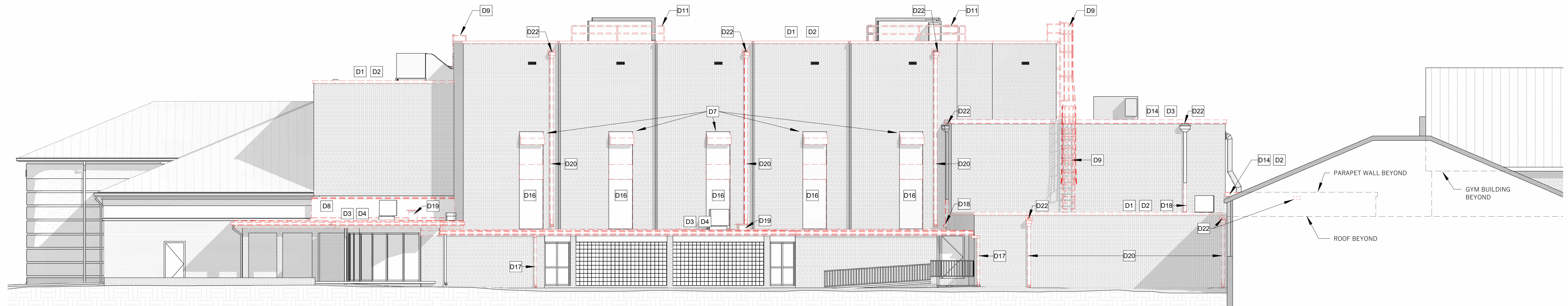
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GUTTER &
DOWNSPOUT
PLAN
A133-P

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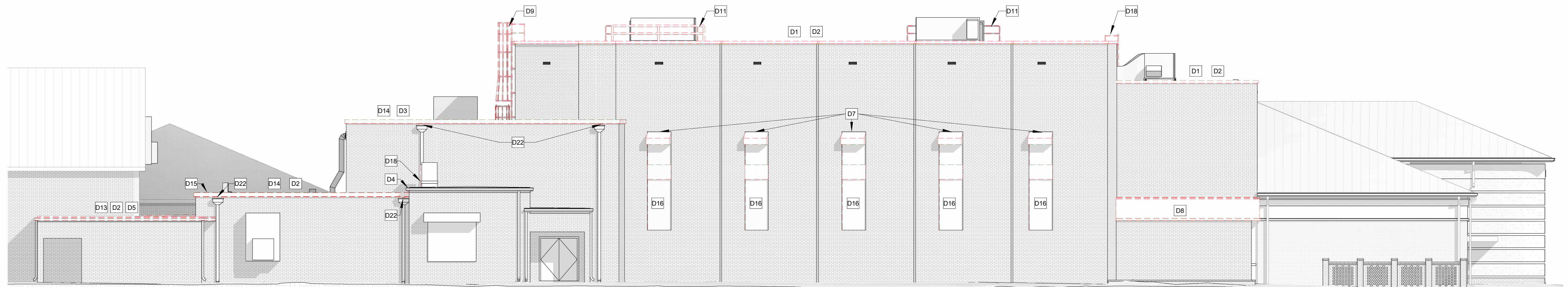
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DEMO NOTES

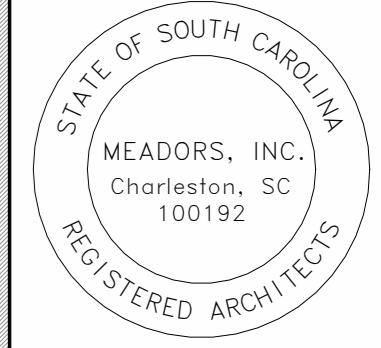
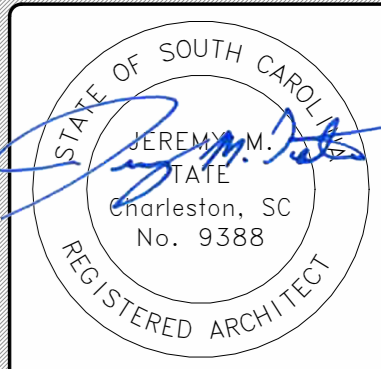
- D1 REMOVE CONCRETE/METAL COPING CAPS AND PREP FOR NEW METAL PARAPET CAP.
- D2 REMOVE BUILT-UP GRAVEL ROOF AND INSULATION DOWN TO DECK AND PREP FOR NEW 2-PLY ROOF SYSTEM.
- D3 REMOVE SINGLE PLY ROOF AND INSULATION DOWN TO DECK AND PREP FOR NEW 2-PLY ROOF SYSTEM.
- D4 REMOVE AND SALVAGE EXISTING GUTTERS WHERE POSSIBLE. REPLACE GUTTER SECTIONS AS REQUIRED, COLOR TO MATCH.
- D5 REMOVE EXISTING GUTTER AND REPLACE, COLOR TO MATCH.
- D6 REMOVE DOOR TRIM COMPLETE.
- D7 REMOVE AND REPLACE STEEL LINTELS; REPAIR ASSOCIATED BRICKWORK - REMOVE EIFS HOOD DETAIL
- D8 REMOVE EIFS COATING AND PREPARE FOR A NEW METAL CLAD WALL SYSTEM.
- D9 REMOVE EXISTING LADDERS AND REPLACE WITH CODE COMPLIANT LADDER AND APPROPRIATE SAFETY MEASURES.
- D10 REMOVE METAL PARAPET CLADDING AND PREPARE FOR NEW CLADDING SYSTEM.
- D11 REMOVE AND REPLACE ROOF GUARDS.
- D12 REMOVE EXISTING AWNING.
- D13 REMOVE EXISTING GRAVEL STOP AND PREPARE FOR NEW EMBEDDED EDGE METAL FLASHING.
- D14 REPLACE EXISTING METAL PARAPET CAP.
- D15 RELOCATE EXISTING PLUMBING STACK.
- D16 REMOVE EIFS COATING AND PREPARE FOR NEW WALL SYSTEM.
- D17 REMOVE EXISTING DOWNSPOUT.
- D18 REMOVE A PORTION OF EXISTING DOWNSPOUT TO PROVIDE A CONNECTION TO NEW DOWNSPOUT.
- D19 REMOVE EXISTING SHEET METAL ENCLOSURE.
- D20 REMOVE EXISTING CONDUCTOR HEAD AND DOWNSPOUT.
- D21 REMOVE EXISTING BRICK WALL BETWEEN BUILDINGS FOR ACCESS.
- D22 REMOVE ALL THROUGH WALL SCUPPERS.
- D23 RELOCATE EXISTING VENTS.
- D24 REMOVE EXISTING STOREFRONT & INTERIOR WALL TO FULL HEIGHT.



2 AUDITORIUM - NORTH ELEVATION - DEMOLITION
1/8" = 1'-0"



1 AUDITORIUM - SOUTH ELEVATION - DEMOLITION
1/8" = 1'-0"



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KEYNOTES

- 1 REPOINT 100% HATCHED MASONRY.
- 1.2 REPAIR MORTAR AT GLASS BLOCKS.
- 2 FRAME ENCLOSURE AROUND EXISTING HVAC DUCT, SEE SHEET A421.
- 3 FLASH REENTRANT CORNERS, SEE SHEET A503, DETAIL 6.
- 4 REPLACE STEEL LINTEL, SEE SHEET S-5.
- 5 INSTALL GUTTER AT ROOF L, APPROXIMATELY 330 L.F.
- 5.1 INSTALL GUTTER AT ROOF J, APPROXIMATELY 200 L.F.
- 5.2 INSTALL GUTTER AT ROOF K, APPROXIMATELY 150 L.F.
- 5.3 INSTALL GUTTER AT ROOF P, APPROXIMATELY 46 L.F.
- 5.4 INSTALL GUTTER AT ROOF O, APPROXIMATELY 16 L.F.
- 5.5 INSTALL GUTTER AT ROOF N, APPROXIMATELY 99 L.F.
- 5.6 INSTALL GUTTER AT ROOF M, APPROXIMATELY 26 L.F.
- 5.7 INSTALL GUTTER AT ROOF G, APPROXIMATELY 47 L.F.
- 6 COVER EXPOSED PERMA BARRIER WITH 2-PLY SBS MEMBRANE, SEE SHEET A402, DETAIL 3.

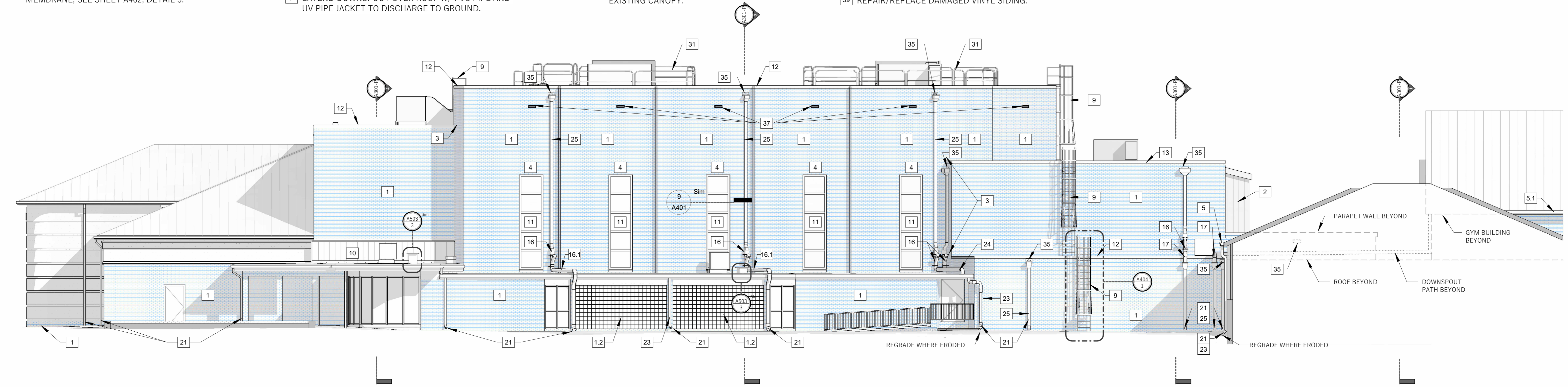
- 7 RELOCATE PLUMBING STACK AT 12" MIN. FROM EDGE OF WALL, SEE SHEET A502, DETAIL 5.
- 8 CLEAN, PREP, PRIME, & REPAINT ALL SURFACES. LIQUID FLASH ATTIC DOOR, SEE SHEET A402, DETAIL 1.
- 9 INSTALL NEW ACCESS LADDER PER MANUFACTURER'S INSTRUCTIONS.
- 10 REMOVE EIFS COATING, REPLACE WITH METAL PANELS OR SIMILAR PRODUCT, SEE SHEET A402, DETAIL 2.
- 11 REMOVE EIFS COATING, REPLACE WITH FIBER-CEMENT PANELS OR SIMILAR PRODUCT, SEE SHEET A401, DETAIL 4.
- 12 REMOVE EXISTING COPING STONE, INSTALL NEW METAL COPING, SEE SHEET A501, DETAIL 1.
- 13 REMOVE EXISTING COPING STONE, EXTEND PARAPET WALL HEIGHT, INSTALL NEW METAL COPING, SEE SHEET A501, DETAIL 1.
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- 15 RECAP EXISTING ROOF EXPANSION JOINT/AREA DIVIDER, SEE SHEET A502, DETAIL 1.
- 16 ADJUST DOWNSPOUT HEIGHT AS NEEDED FOR NEW ROOF PITCH AND DISCHARGE PIPING. TRANSITION FROM METAL DOWNSPOUT TO PVC PIPE TO OCCUR 4' FROM ROOF ELEVATION.
- 16.1 EXTEND DOWNSPOUT OVER ROOF W/ PVC PIPE AND UV PIPE JACKET TO DISCHARGE TO GROUND.

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- 18 EXTEND DOWNSPOUT ALONG WALL AND DISCHARGE ON LOWER ROOF.
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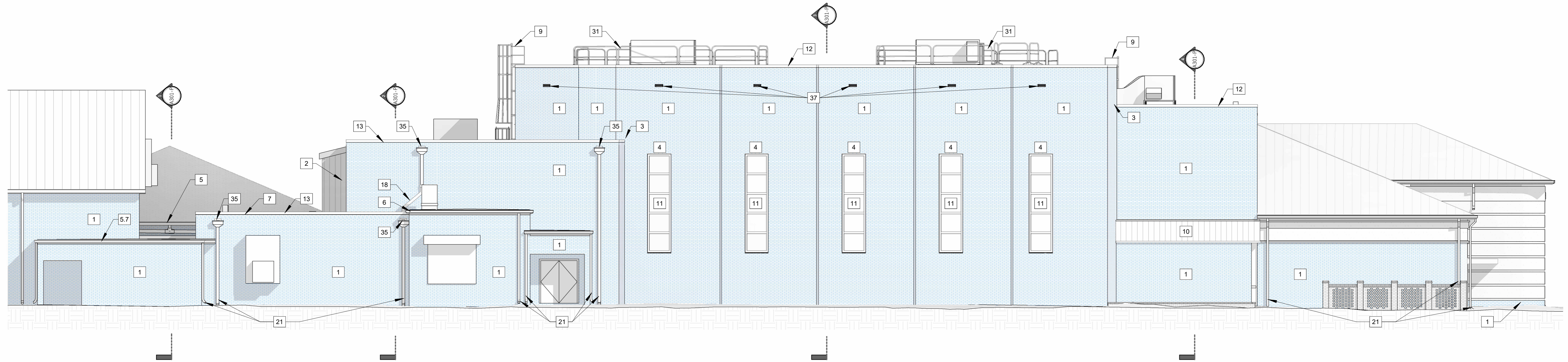
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GENERAL NOTES

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- 3. CLEAN/REPAINT ALL SOFFITS.
- 4. CLEAN/REPAINT ALL METAL EAVES.
- 5. REMOVE ALL BIOGROWTH WITHIN PROJECT SCOPE.
- 6. CLEAN DEBRIS FROM TOP OF AWNINGS AND PATHWAY COVERINGS AROUND THE BUILDING.



2 AUDITORIUM - NORTH ELEVATION - PROPOSED
1/8" = 1'-0"



1 AUDITORIUM - SOUTH ELEVATION - PROPOSED
1/8" = 1'-0"

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 ARCHITECT
 No. 9388
 REGISTERED ARCHITECT

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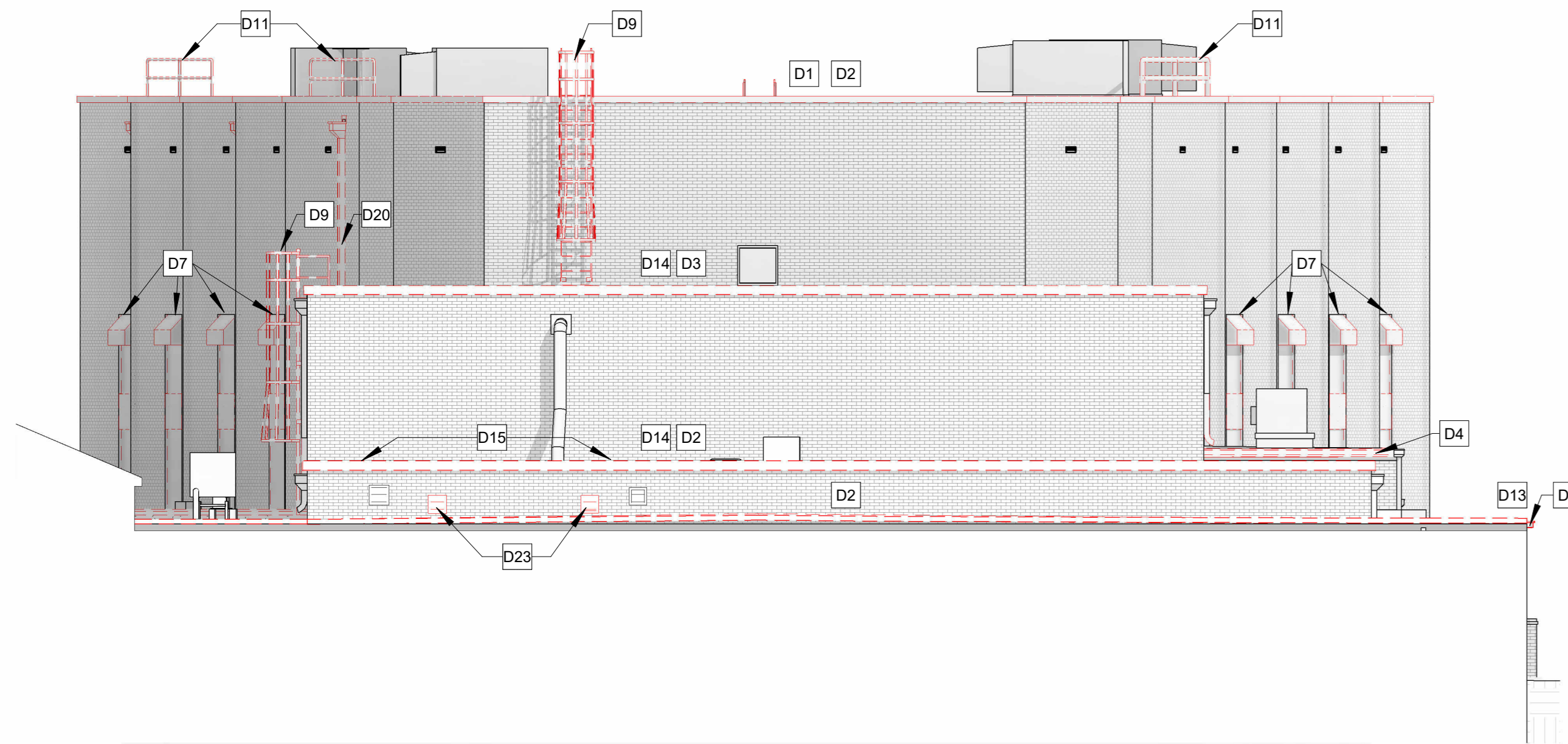
NORTH & SOUTH
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 PROPOSED
A201-P

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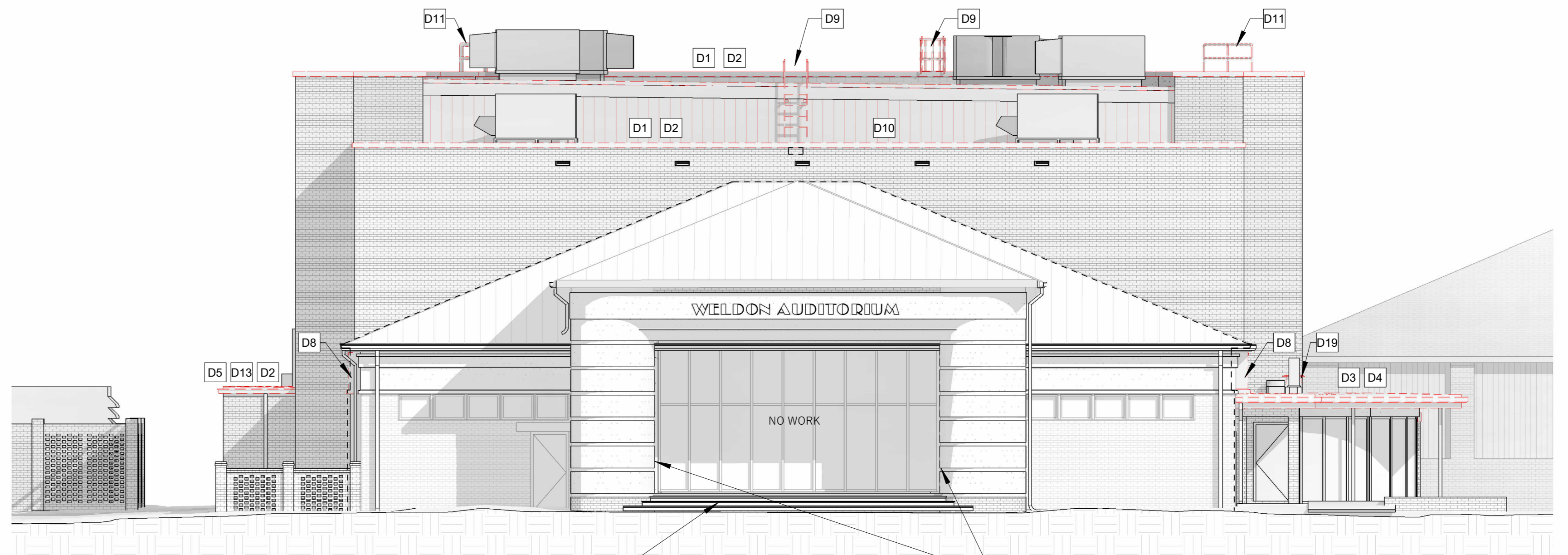
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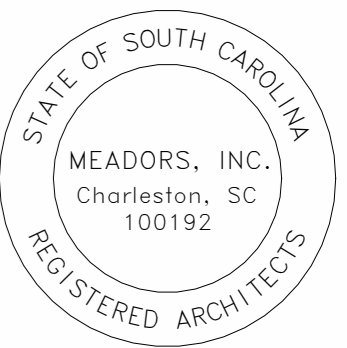
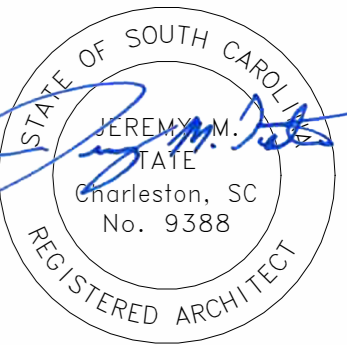
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- D22 REMOVE ALL THROUGH WALL SCUPPERS.
- D23 RELOCATE EXISTING VENTS.
- D24 REMOVE EXISTING STOREFRONT & INTERIOR WALL TO FULL HEIGHT.



2 WEST ELEVATION - DEMOLITION
1/8" = 1'-0"



1 EAST ELEVATION - DEMOLITION
1/8" = 1'-0"



PERMIT

PROJ. NO. 21-0053
ISSUE DATE: 01/31/25

REVISIONS		
#	DATE	NOTES

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KEYNOTES

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- 3 FLASH REENTRANT CORNERS, SEE SHEET A503, DETAIL 6.
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- 5.1 INSTALL GUTTER AT ROOF J, APPROXIMATELY 200 L.F.
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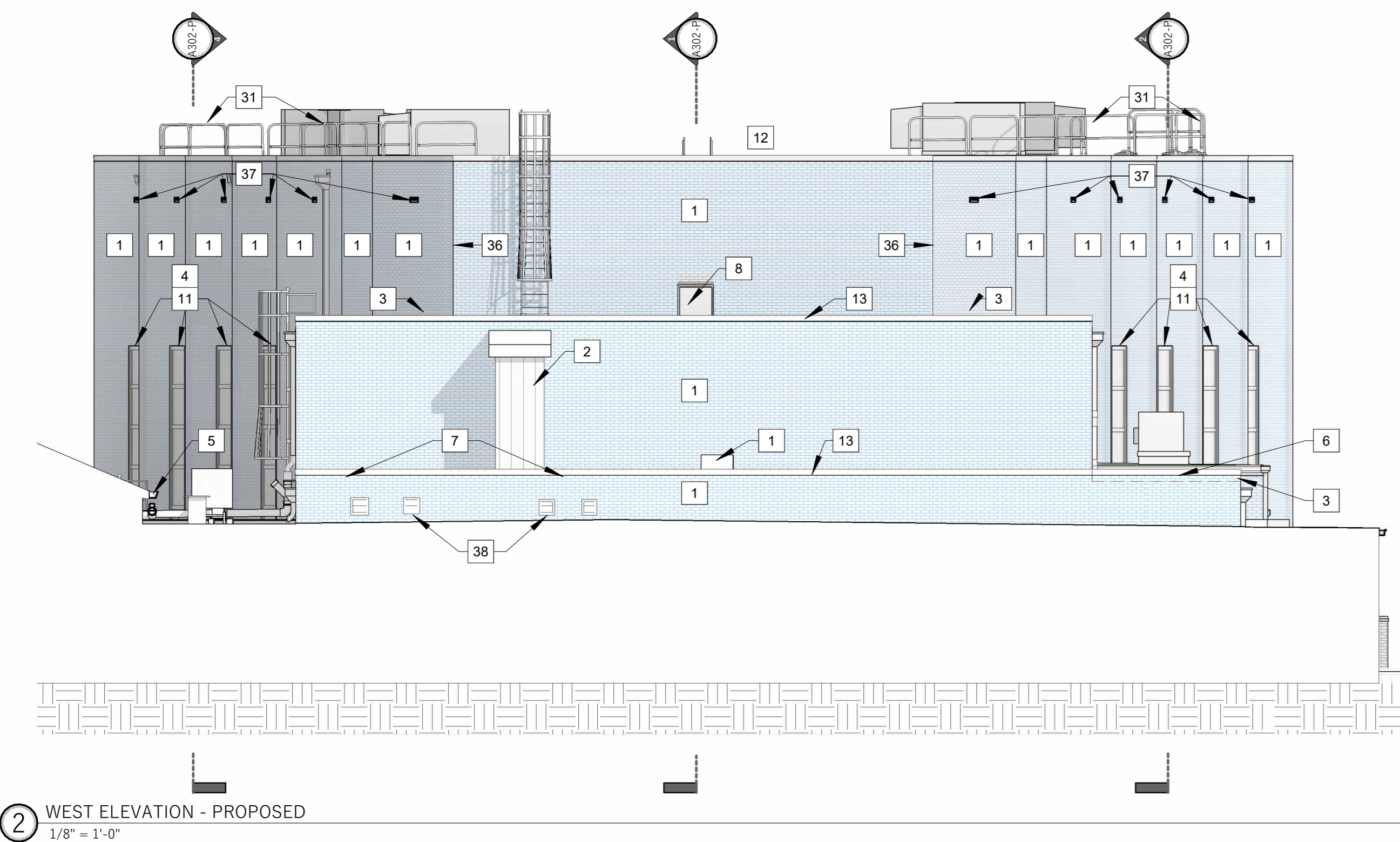
- 7 RELOCATE PLUMBING STACK AT 12" MIN. FROM EDGE OF WALL, SEE SHEET A502, DETAIL 5.
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- 10 REMOVE EIFS COATING, REPLACE WITH METAL PANELS OR SIMILAR PRODUCT, SEE SHEET A402, DETAIL 2.
- 11 REMOVE EIFS COATING, REPLACE WITH FIBER-CEMENT PANELS OR SIMILAR PRODUCT, SEE SHEET A401, DETAIL 4.
- 12 REMOVE EXISTING COPING STONE, INSTALL NEW METAL COPING, SEE SHEET A501, DETAIL 1.
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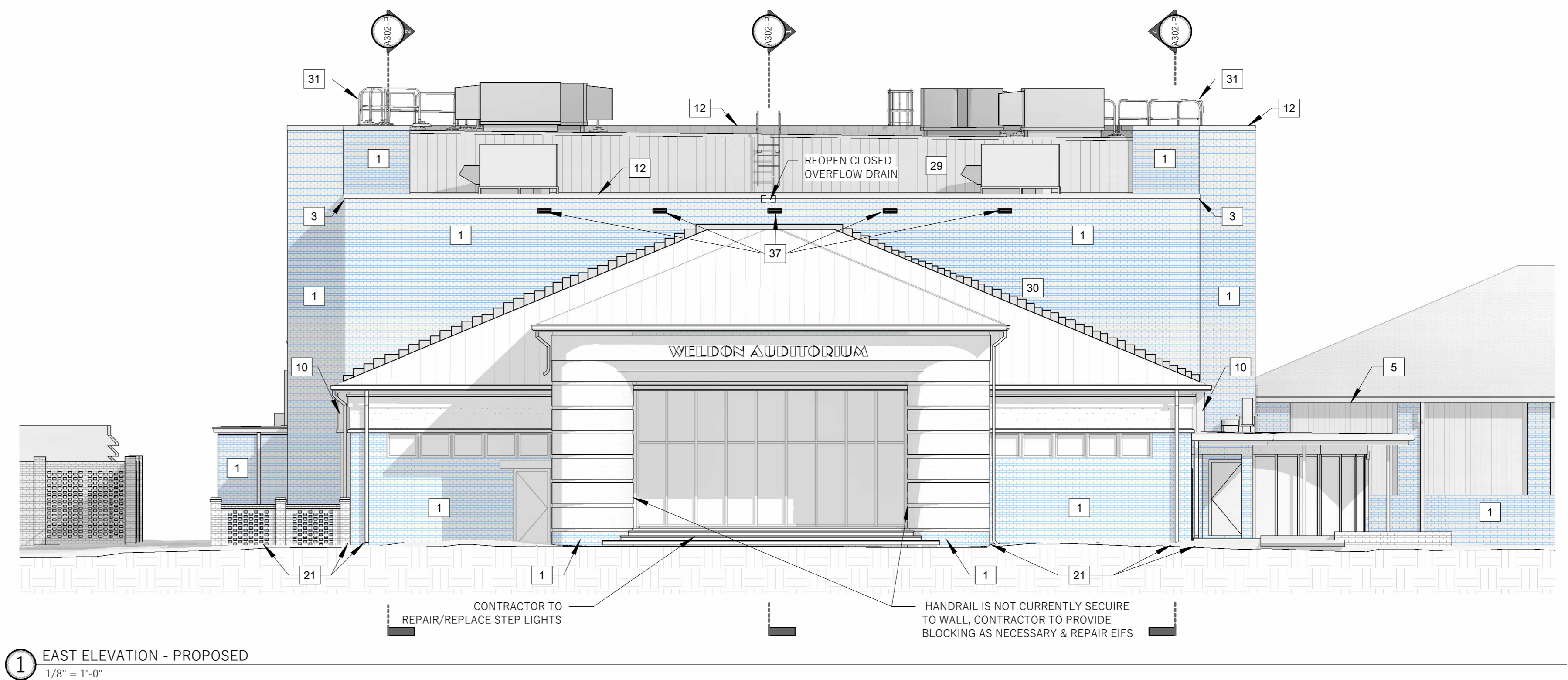
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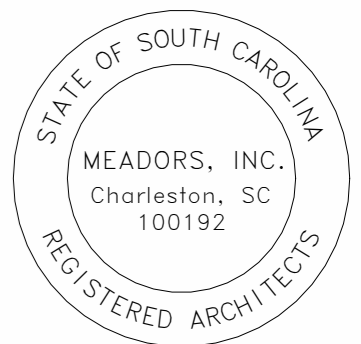
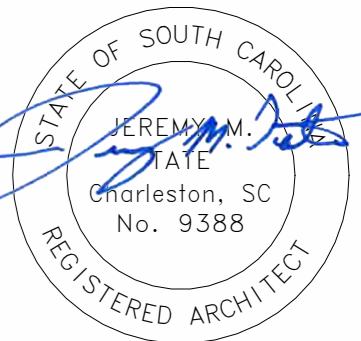
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MEADORS

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WELDON AUDITORIUM
RENOVATIONS
7 Maple Street
Manning, SC 29102

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REVISIONS

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EAST & WEST
ELEVATIONS -
PROPOSED

A202-P

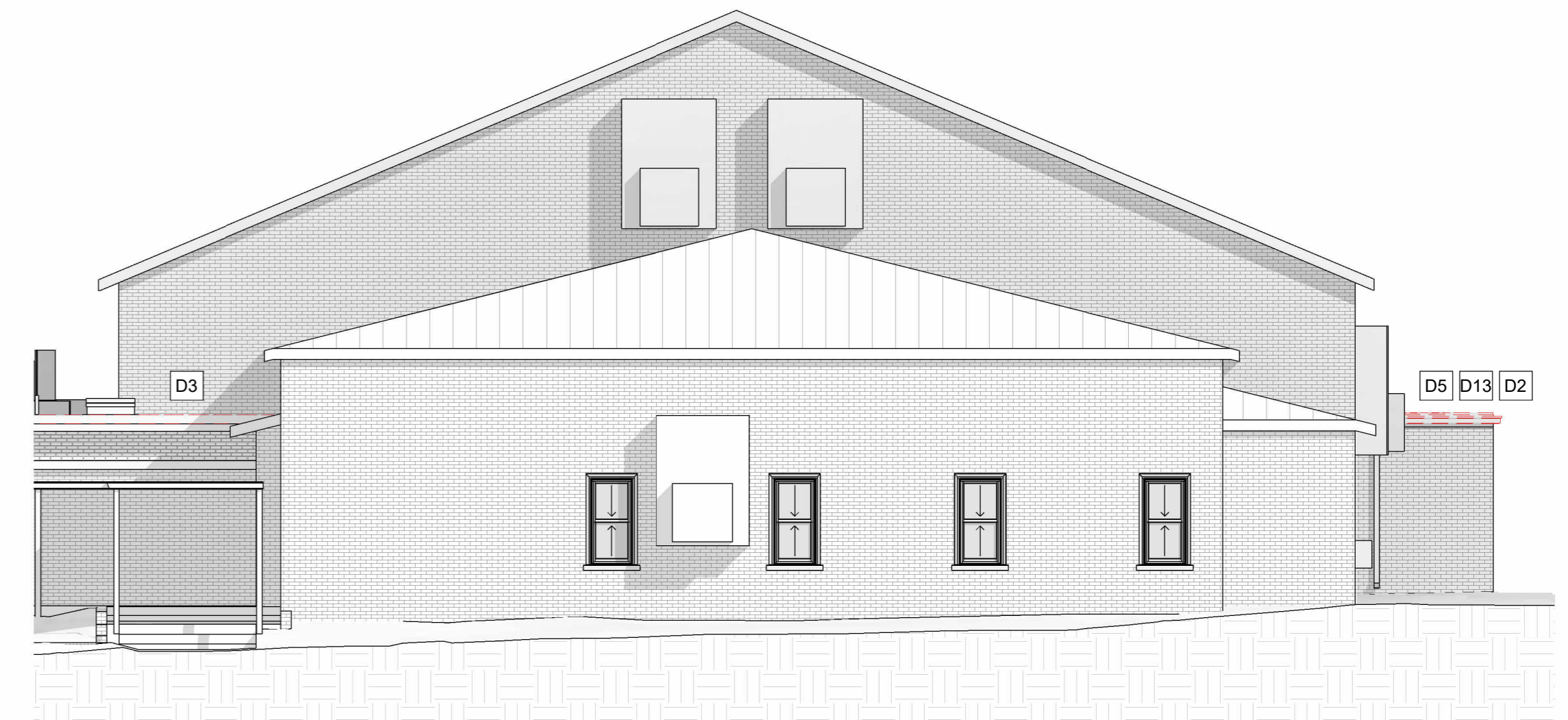
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SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"X36"

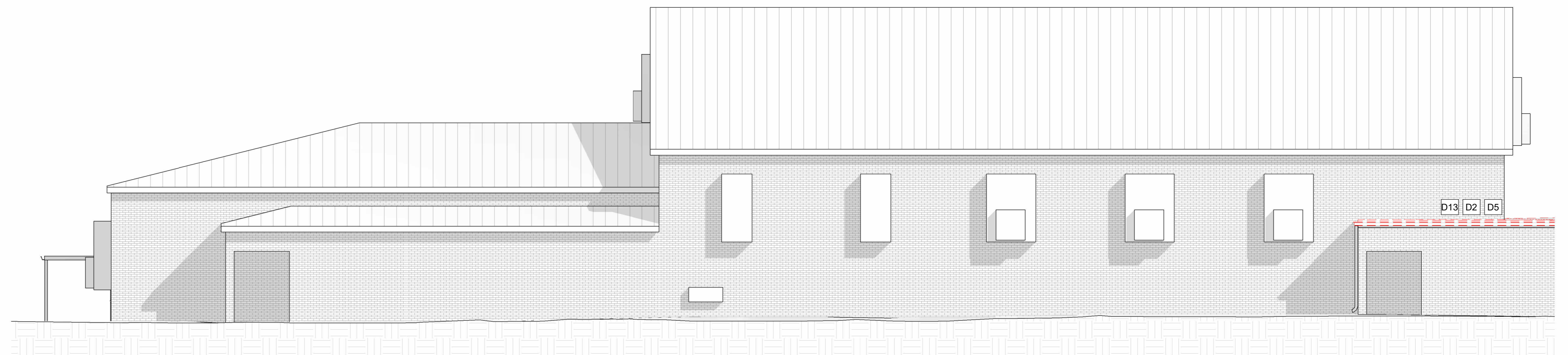
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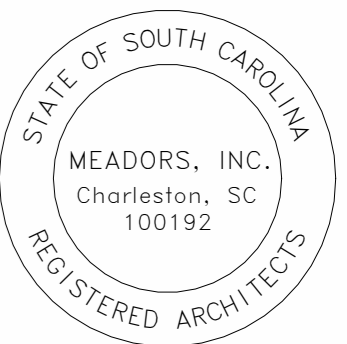
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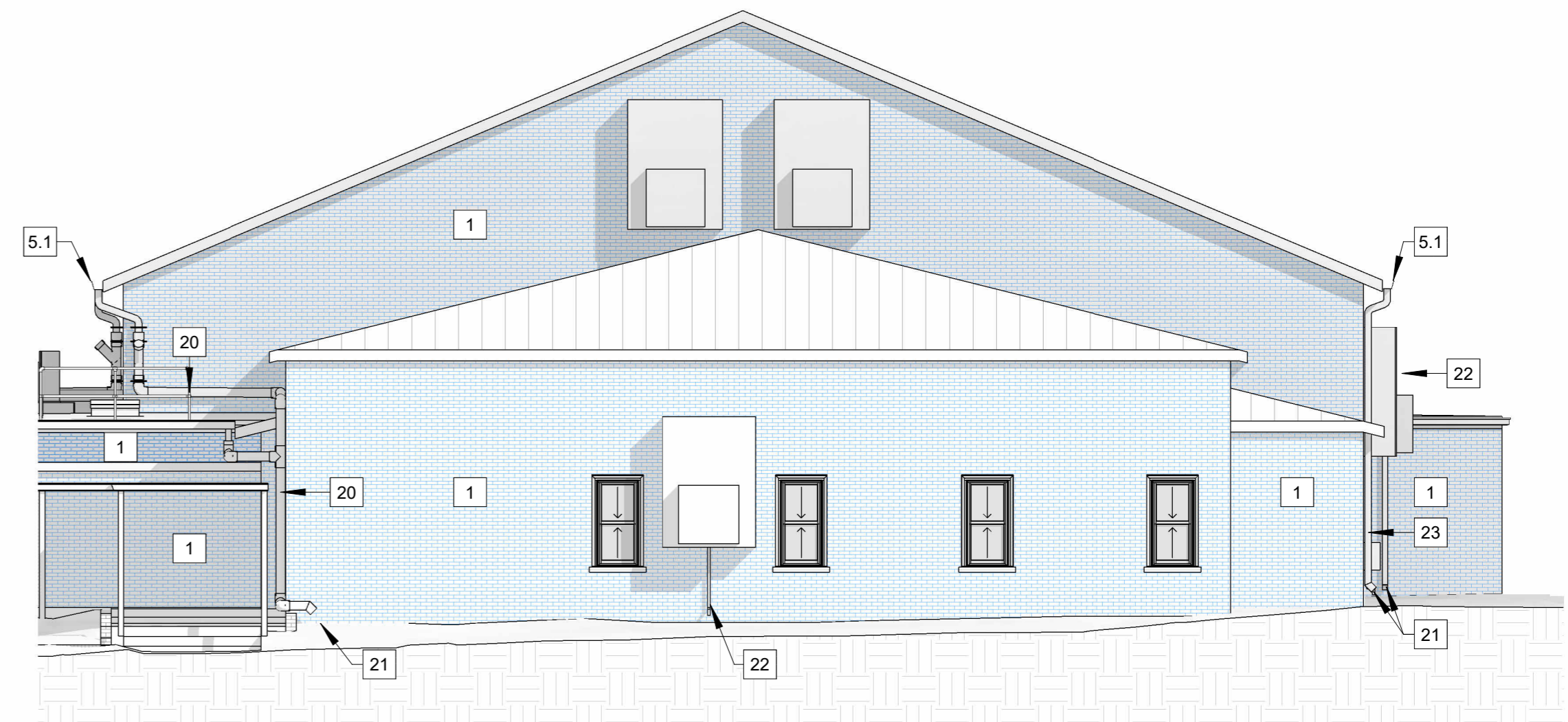
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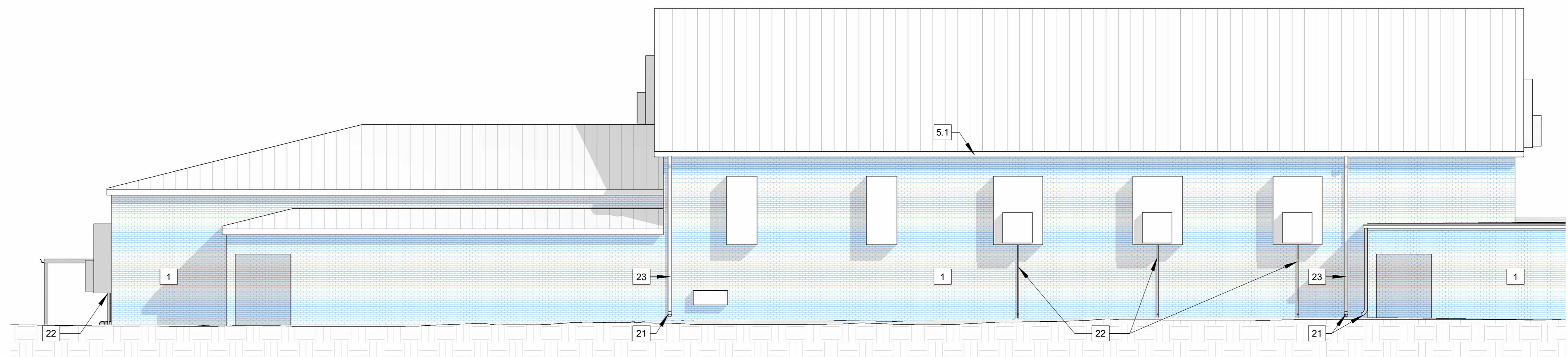
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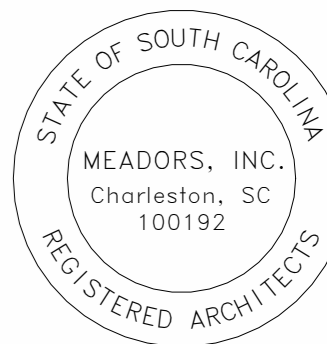
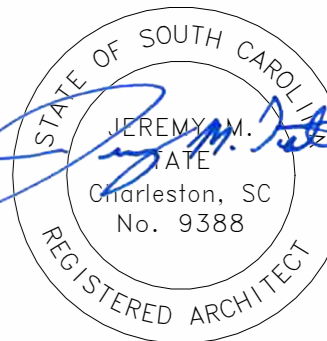
2 GYM - WEST ELEVATION - PROPOSED
1/8" = 1'-0"



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1/8" = 1'-0"

MEADORS

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WELDON AUDITORIUM RENOVATIONS
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Manning, SC 29102

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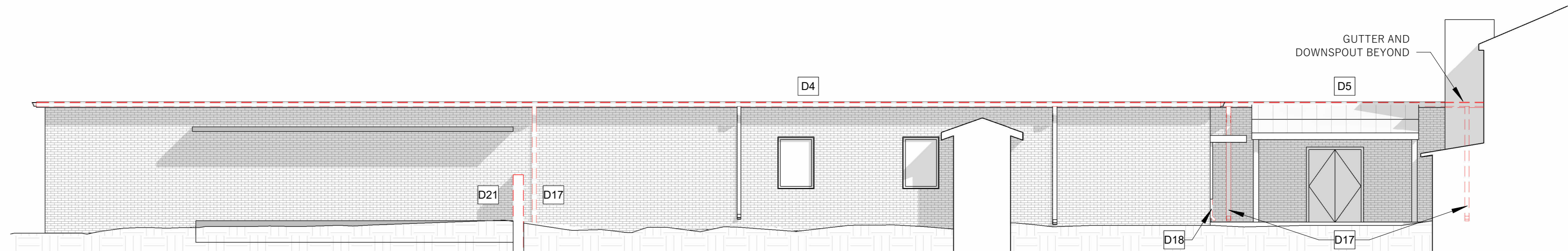
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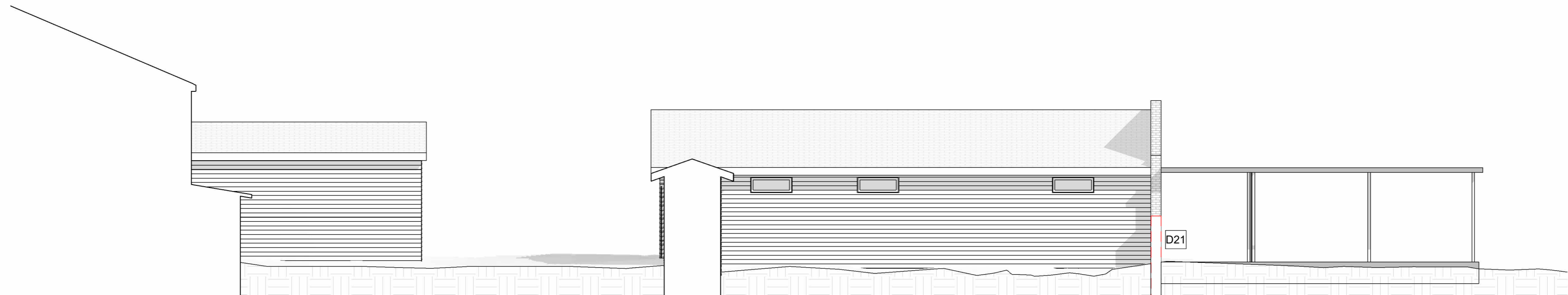
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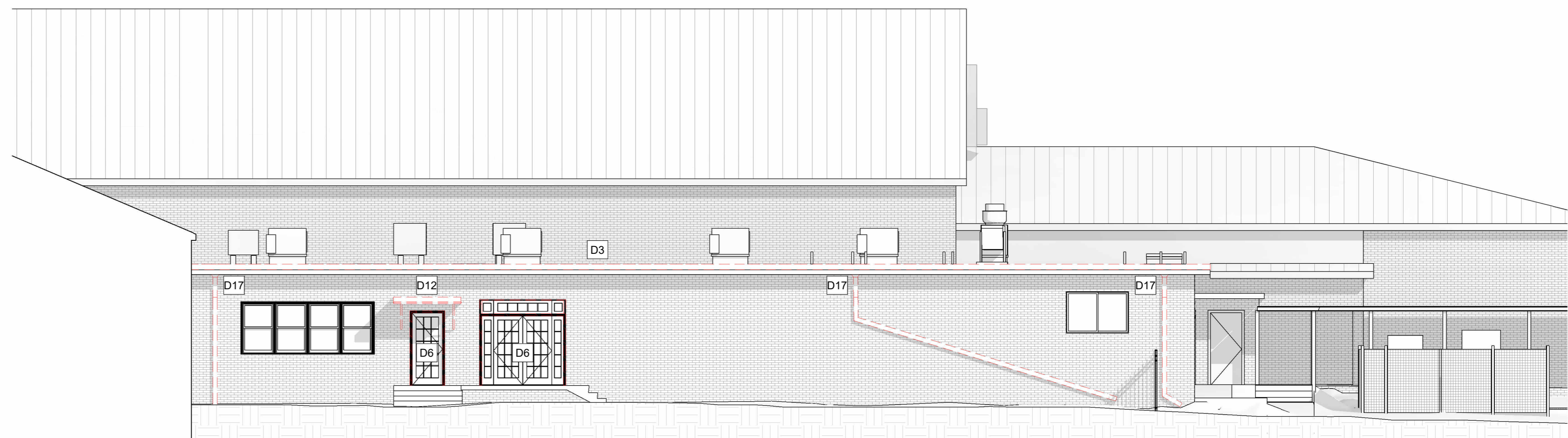
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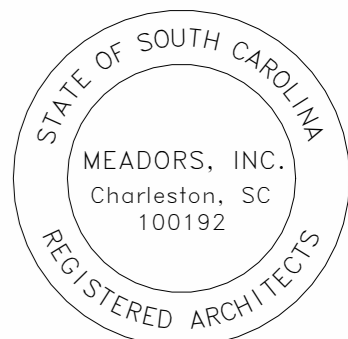
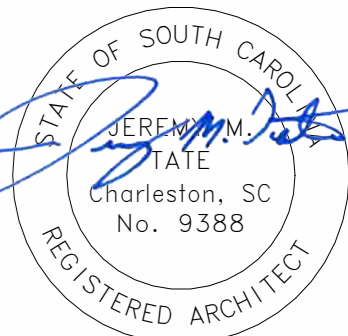
3 SOCIAL SERVICES - SOUTH ELEVATION - DEMOLITION
1/8" = 1'-0"



2 SOCIAL SERVICE OFFICE - NORTH ELEVATION - DEMOLITION
1/8" = 1'-0"



1 BREEDIN GARDEN - NORTH ELEVATION - DEMOLITION
1/8" = 1'-0"



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COURTYARD - N
& S ELEVATION -
DEMOLITION

A204-D

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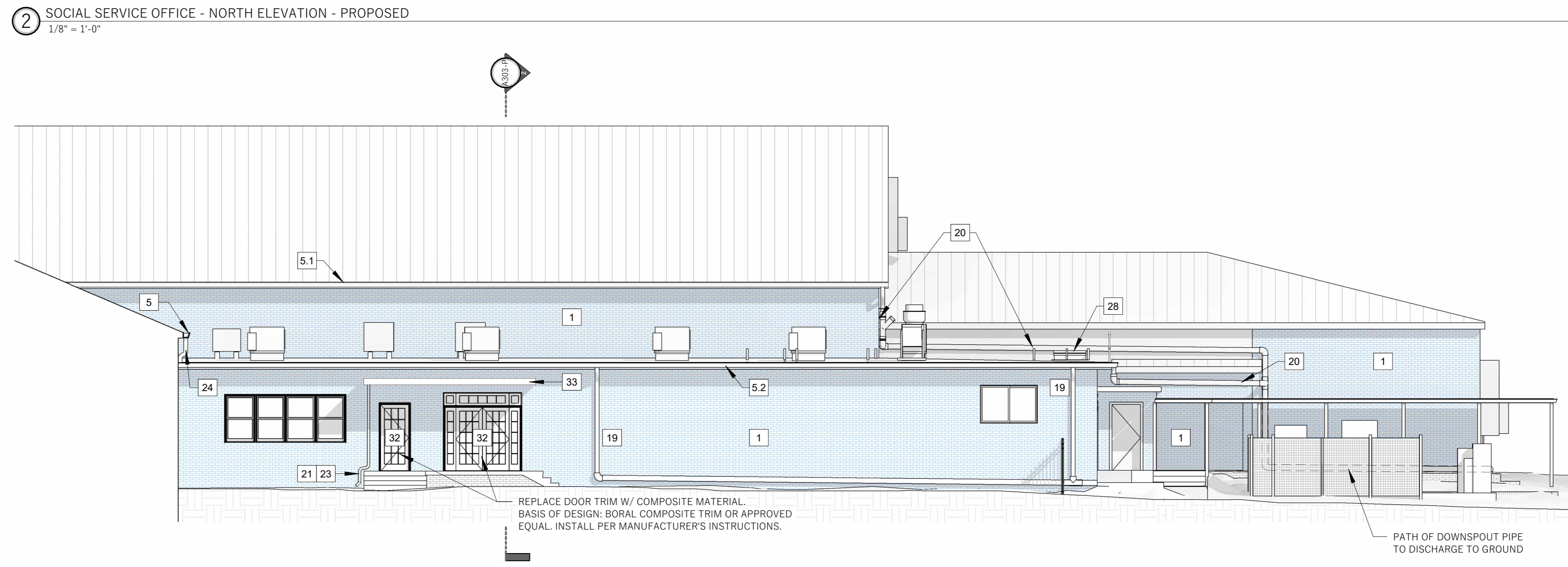
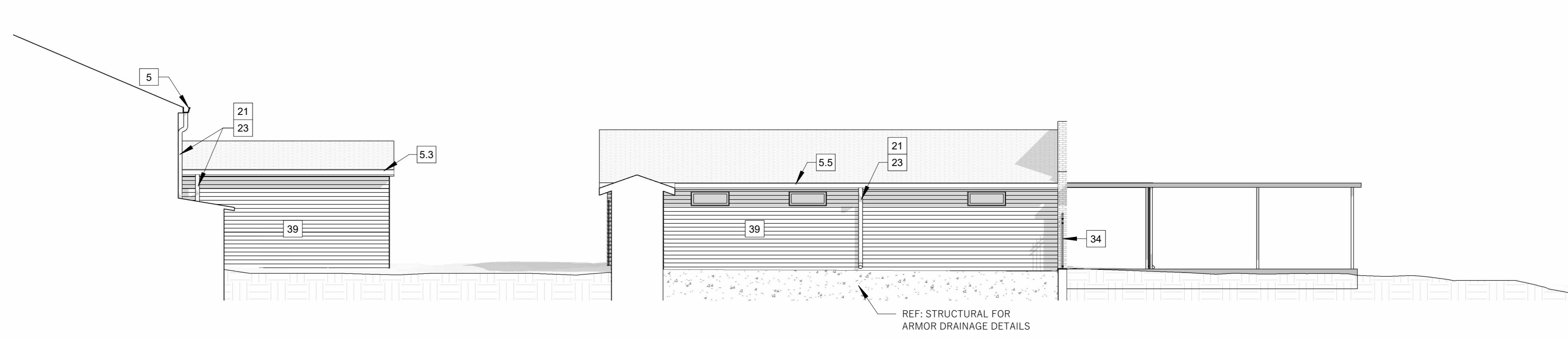
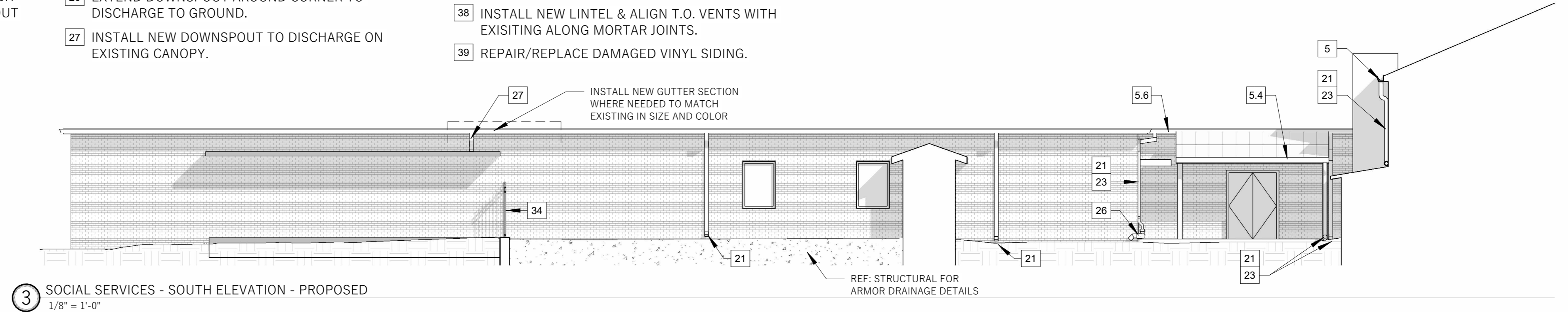
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- 9 INSTALL NEW ACCESS LADDER PER MANUFACTURER'S INSTRUCTIONS.
- 10 REMOVE EIFS COATING, REPLACE WITH METAL PANELS OR SIMILAR PRODUCT, SEE SHEET A402, DETAIL 2.
- 11 REMOVE EIFS COATING, REPLACE WITH FIBER-CEMENT PANELS OR SIMILAR PRODUCT, SEE SHEET A401, DETAIL 4.
- 12 REMOVE EXISTING COPING STONE, INSTALL NEW METAL COPING, SEE SHEET A501, DETAIL 1.
- 13 REMOVE EXISTING COPING STONE, EXTEND PARAPET WALL HEIGHT, INSTALL NEW METAL COPING, SEE SHEET A501, DETAIL 1.
- 14 CONSTRUCT AREA DIVIDER TO DIVERT ROOF DRAINAGE, SEE SHEET A402, DETAIL 5.
- 15 RECAP EXISTING ROOF EXPANSION JOINT/AREA DIVIDER, SEE SHEET A502, DETAIL 1.
- 16 ADJUST DOWNSPOUT HEIGHT AS NEEDED FOR NEW ROOF PITCH AND DISCHARGE PIPING. TRANSITION FROM METAL DOWNSPOUT TO PVC PIPE TO OCCUR 4' FROM ROOF ELEVATION.
- 16.1 EXTEND DOWNSPOUT OVER ROOF W/ PVC PIPE AND UV PIPE JACKET TO DISCHARGE TO GROUND.

- 17 EXTEND DOWNSPOUT OVER ROOF W/ PVC PIPE AND UV PIPE JACKET TO NEW CONDUCTOR HEAD.
- 18 EXTEND DOWNSPOUT ALONG WALL AND DISCHARGE ON LOWER ROOF.
- 19 INSTALL NEW DOWNSPOUT & PVC PIPE TO DRAIN OUT OF COURTYARD.
- 20 EXTEND DOWNSPOUT ALONG WALL AND OVER EXISTING ROOF. DISCHARGE TO GROUND.
- 21 PROVIDE SPLASHBLOCK WHERE DOWNSPOUTS MEET GRADE.
- 22 REROUTE & INSTALL NEW PVC DRAIN PIPES FROM WALL HUNG HVAC UNITS TO DISCHARGE TO GROUND.
- 23 INSTALL NEW DOWNSPOUT TO DISCHARGE TO GROUND.
- 24 INSTALL NEW DOWNSPOUT W/ PVC PIPE AND UV PIPE JACKET TO DISCHARGE TO NEW GUTTER.
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- 26 EXTEND DOWNSPOUT AROUND CORNER TO DISCHARGE TO GROUND.
- 27 INSTALL NEW DOWNSPOUT TO DISCHARGE ON EXISTING CANOPY.

- 28 UNINSTALL AND REINSTALL EXISTING ATTIC HATCH AS NEEDED TO ACCOMMODATE REROOFING APPLICATION.
- 29 REMOVE METAL PARAPET WALL CLADDING AND PREPARE FOR NEW WALL CLADDING SYSTEM, SEE SHEET A403, DETAIL 3.
- 30 INSTALL STEP FLASHING OVER EXISTING ROOF.
- 31 INSTALL NEW NON-PENETRATING ROOF GUARD RAILS PER MANUFACTURER'S INSTRUCTIONS.
- 32 REPLACE DOOR TRIM & PAINT.
- 33 INSTALL NEW CANOPY.
- 34 INSTALL NEW GATE TO MATCH EXISTING IN STYLE, FINISH, AND MATERIAL.
- 35 INSTALL ALL NEW THROUGH WALL SCUPPERS.
- 36 INSTALL BACKER ROD & SEALANT AT CRACKED ANGLED CORNERS AS NEEDED. REPOINT ANY STEP CRACKING W/ MORTAR.
- 37 CLEAN, PREP, PRIME, & REPAINT ATTIC VENTS. SEAL & INSULATE VENTS FROM INSIDE.
- 38 INSTALL NEW LINTEL & ALIGN T.O. VENTS WITH EXISTING ALONG MORTAR JOINTS.
- 39 REPAIR/REPLACE DAMAGED VINYL SIDING.

GENERAL NOTES

1. WATERPROOF ALL ELECTRICAL PENETRATIONS THROUGH WALLS AND ROOFS WITHIN SCOPE OF THIS RENOVATION. ALL COUNTER FLASHING TO BE FULLY REGLETED.
2. GRADING IS NEEDED AT ALL BUILDING EDGES TO REROUTE WATER AWAY FROM FOUNDATION.
3. CLEAN/REPAINT ALL SOFFITS.
4. CLEAN/REPAINT ALL METAL EAVES.
5. REMOVE ALL BIOGROWTH WITHIN PROJECT SCOPE.
6. CLEAN DEBRIS FROM TOP OF AWNINGS AND PATHWAY COVERINGS AROUND THE BUILDING.



PERMIT

PROJ. NO. 21-0053
 ISSUE DATE: 01/31/25

REVISIONS

#	DATE	NOTES

COURTYARD - N & S ELEVATION - PROPOSED

A204-P

KEYNOTES

- 1 REPOINT 100% HATCHED MASONRY.
- 1.2 REPAIR MORTAR AT GLASS BLOCKS.
- 2 FRAME ENCLOSURE AROUND EXISTING HVAC DUCT, SEE SHEET A421.
- 3 FLASH REENTRANT CORNERS, SEE SHEET A503, DETAIL 6.
- 4 REPLACE STEEL LINTEL, SEE SHEET S-5.
- 5 INSTALL GUTTER AT ROOF L, APPROXIMATELY 330 L.F.
- 5.1 INSTALL GUTTER AT ROOF J, APPROXIMATELY 200 L.F.
- 5.2 INSTALL GUTTER AT ROOF K, APPROXIMATELY 150 L.F.
- 5.3 INSTALL GUTTER AT ROOF P, APPROXIMATELY 46 L.F.
- 5.4 INSTALL GUTTER AT ROOF O, APPROXIMATELY 16 L.F.
- 5.5 INSTALL GUTTER AT ROOF N, APPROXIMATELY 99 L.F.
- 5.6 INSTALL GUTTER AT ROOF M, APPROXIMATELY 26 L.F.
- 5.7 INSTALL GUTTER AT ROOF G, APPROXIMATELY 47 L.F.
- 6 COVER EXPOSED PERMA BARRIER WITH 2-PLY SBS MEMBRANE, SEE SHEET A402, DETAIL 3.

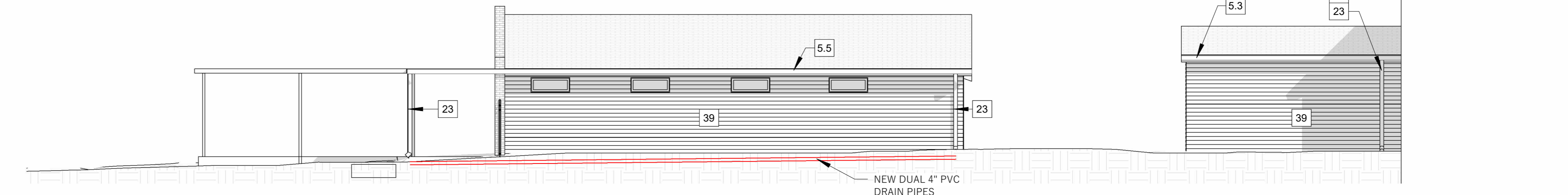
- 7 RELOCATE PLUMBING STACK AT 12" MIN. FROM EDGE OF WALL, SEE SHEET A502, DETAIL 5.
- 8 CLEAN, PREP, PRIME, & REPAINT ALL SURFACES. LIQUID FLASH ATTIC DOOR, SEE SHEET A402, DETAIL 1.
- 9 INSTALL NEW ACCESS LADDER PER MANUFACTURER'S INSTRUCTIONS.
- 10 REMOVE EIFS COATING, REPLACE WITH METAL PANELS OR SIMILAR PRODUCT, SEE SHEET A402, DETAIL 2.
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- 39 REPAIR/REPLACE DAMAGED VINYL SIDING.

GENERAL NOTES

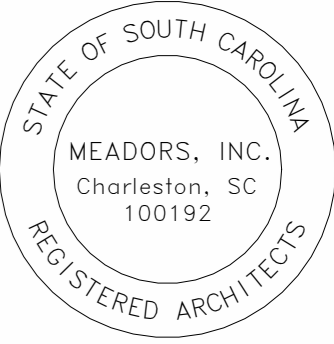
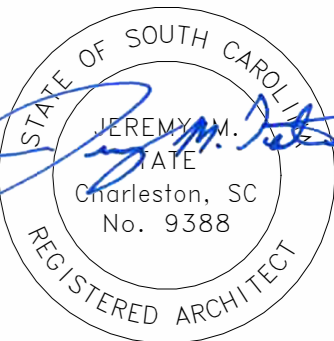
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6. CLEAN DEBRIS FROM TOP OF AWNINGS AND PATHWAY COVERINGS AROUND THE BUILDING.



1 SOCIAL SERVICE OFFICE - SOUTH ELEVATION - PROPOSED
1/8" = 1'-0"

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WELDON AUDITORIUM
RENOVATIONS

7 Maple Street
Manning, SC 29102

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PROJ. NO. 21-0053
ISSUE DATE: 01/31/25

REVISIONS		
#	DATE	NOTES

COURTYARD -
SOUTH
ELEVATION -
PROPOSED

A205-P

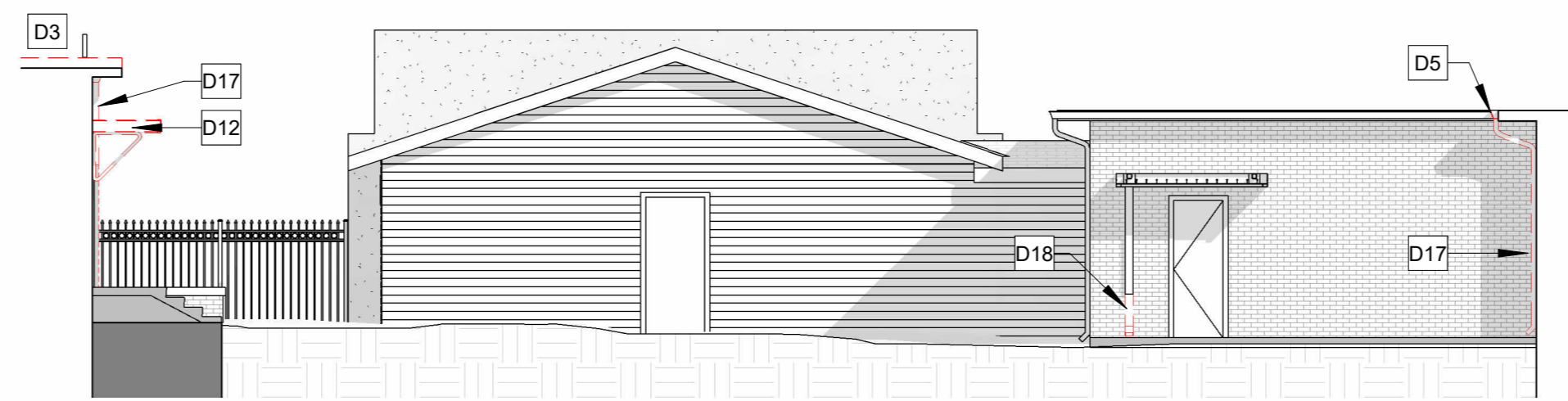
DEMO NOTES

- D1 REMOVE CONCRETE/METAL COPING CAPS AND PREP FOR NEW METAL PARAPET CAP.
- D2 REMOVE BUILT-UP GRAVEL ROOF AND INSULATION DOWN TO DECK AND PREP FOR NEW 2-PLY ROOF SYSTEM.
- D3 REMOVE SINGLE PLY ROOF AND INSULATION DOWN TO DECK AND PREP FOR NEW 2-PLY ROOF SYSTEM.
- D4 REMOVE AND SALVAGE EXISTING GUTTERS WHERE POSSIBLE. REPLACE GUTTER SECTIONS AS REQUIRED, COLOR TO MATCH.
- D5 REMOVE EXISTING GUTTER AND REPLACE, COLOR TO MATCH.
- D6 REMOVE DOOR TRIM COMPLETE.
- D7 REMOVE AND REPLACE STEEL LINTELS; REPAIR ASSOCIATED BRICKWORK - REMOVE EIFS HOOD DETAIL
- D8 REMOVE EIFS COATING AND PREPARE FOR A NEW METAL CLAD WALL SYSTEM.
- D9 REMOVE EXISTING LADDERS AND REPLACE WITH CODE COMPLIANT LADDER AND APPROPRIATE SAFETY MEASURES.
- D10 REMOVE METAL PARAPET CLADDING AND PREPARE FOR NEW CLADDING SYSTEM.
- D11 REMOVE AND REPLACE ROOF GUARDS.
- D12 REMOVE EXISTING AWNING.
- D13 REMOVE EXISTING GRAVEL STOP AND PREPARE FOR NEW EMBEDDED EDGE METAL FLASHING.
- D14 REPLACE EXISTING METAL PARAPET CAP.
- D15 RELOCATE EXISTING PLUMBING STACK.
- D16 REMOVE EIFS COATING AND PREPARE FOR NEW WALL SYSTEM.

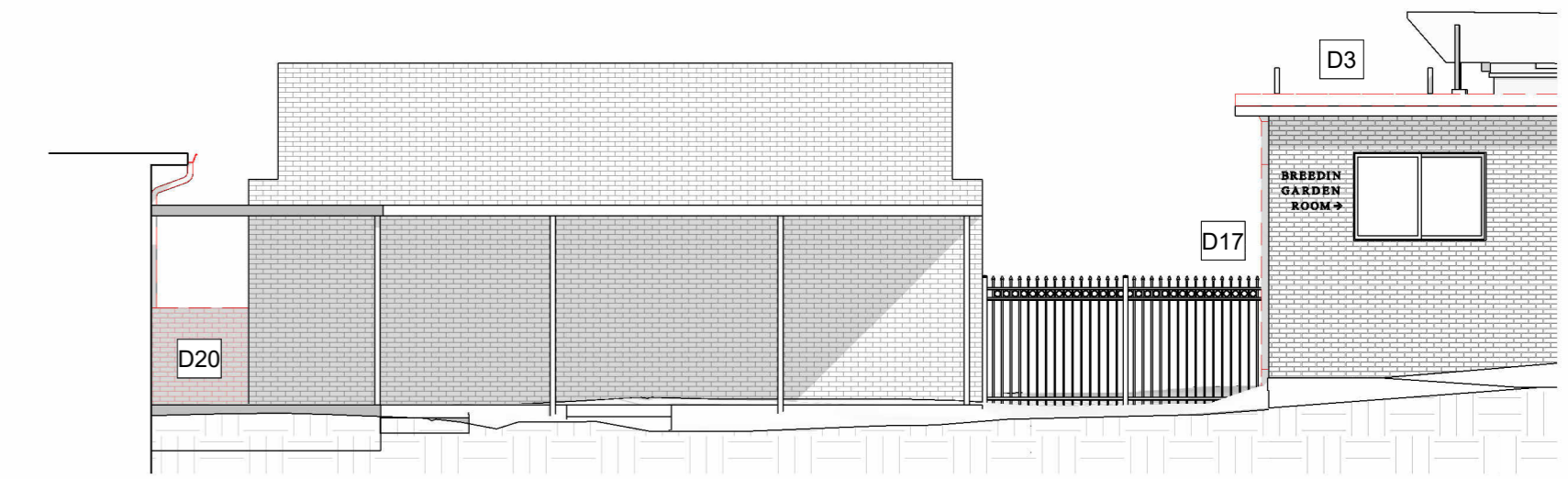
- D17 REMOVE EXISTING DOWNSPOUT.
- D18 REMOVE A PORTION OF EXISTING DOWNSPOUT TO PROVIDE A CONNECTION TO NEW DOWNSPOUT.
- D19 REMOVE EXISTING SHEET METAL ENCLOSURE.
- D20 REMOVE EXISTING CONDUCTOR HEAD AND DOWNSPOUT.
- D21 REMOVE EXISTING BRICK WALL BETWEEN BUILDINGS FOR ACCESS.
- D22 REMOVE ALL THROUGH WALL SCUPPERS.
- D23 RELOCATE EXISTING VENTS.
- D24 REMOVE EXISTING STOREFRONT & INTERIOR WALL TO FULL HEIGHT.



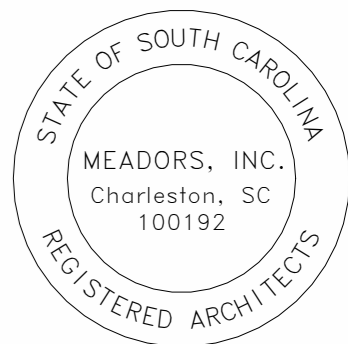
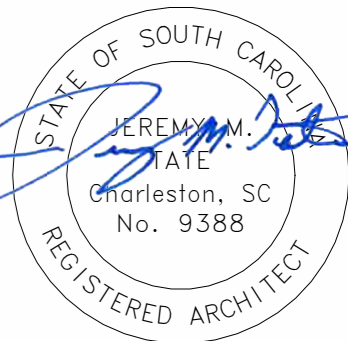
3 SHED - WEST ELEVATION - DEMOLITION
1/8" = 1'-0"



2 SOCIAL SERVICE OFFICE - EAST ELEVATION - DEMOLITION
1/8" = 1'-0"



1 SOCIAL SERVICE OFFICE - WEST ELEVATION - DEMOLITION
1/8" = 1'-0"



PERMIT

PROJ. NO. 21-0053
ISSUE DATE: 01/31/25

REVISIONS

#	DATE	NOTES
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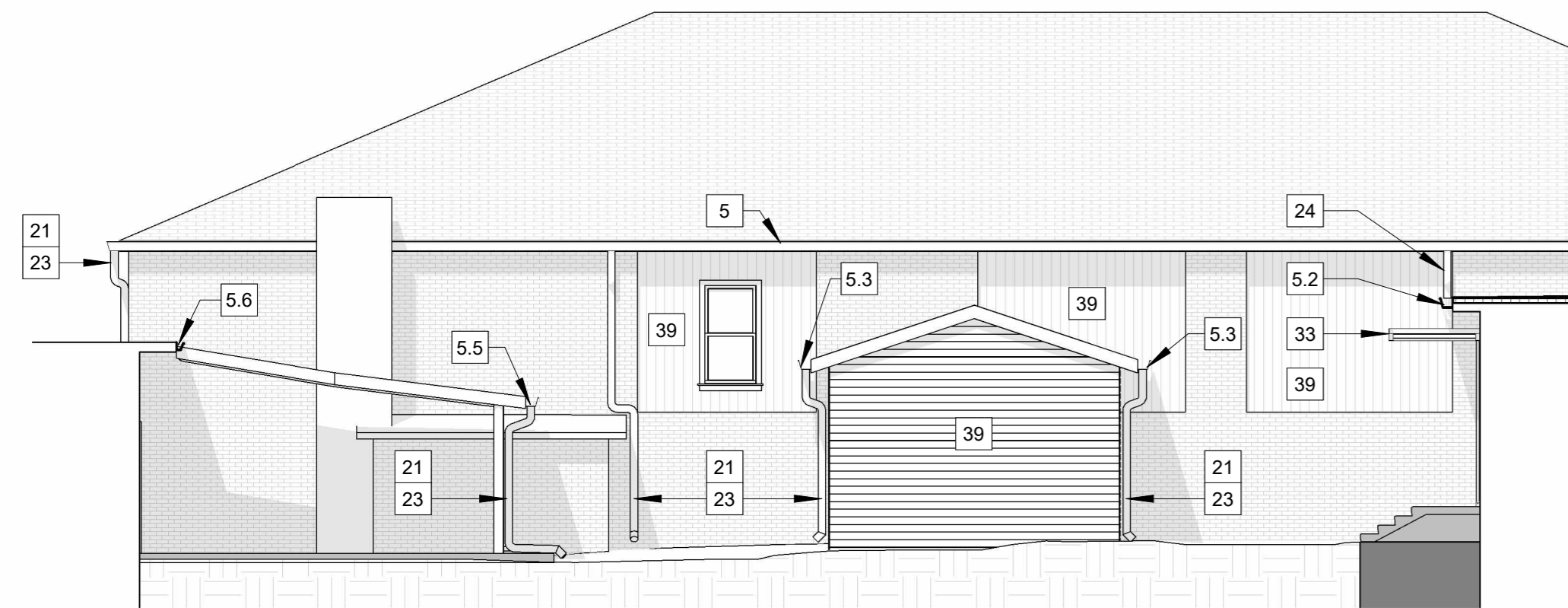
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KEYNOTES

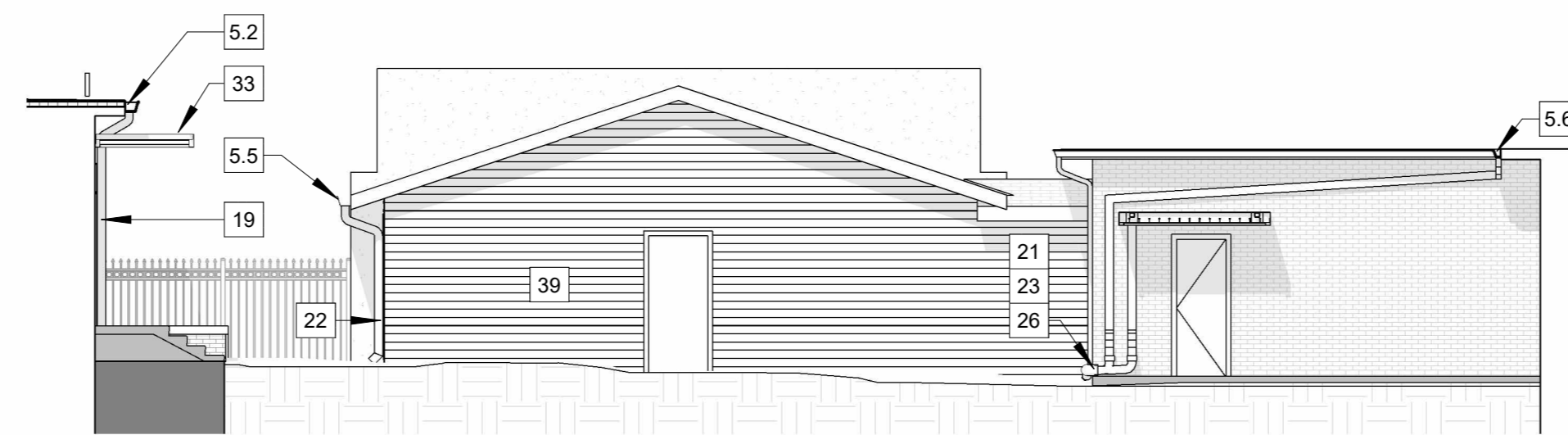
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GENERAL NOTES

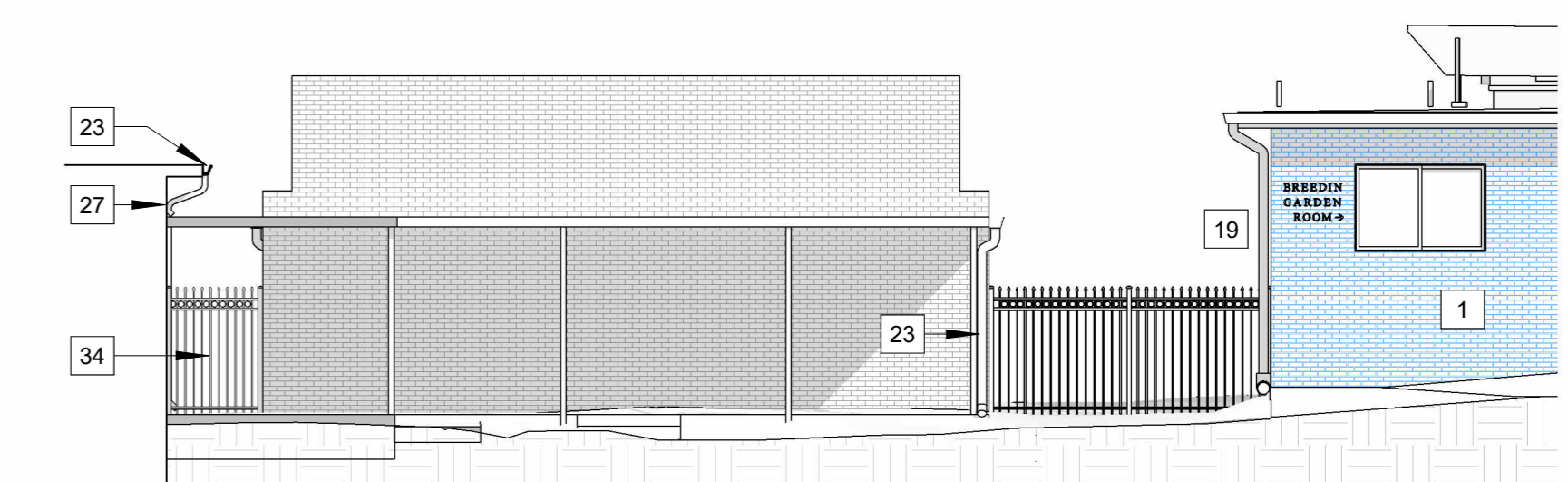
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3 SHED - WEST ELEVATION - PROPOSED
1/8" = 1'-0"



2 SOCIAL SERVICE OFFICE - EAST ELEVATION - PROPOSED
1/8" = 1'-0"

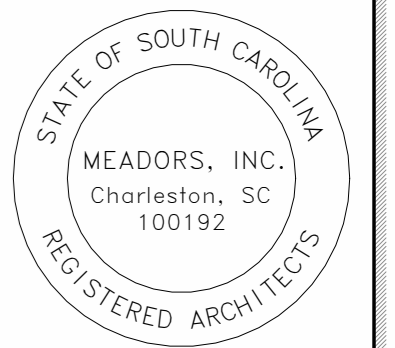
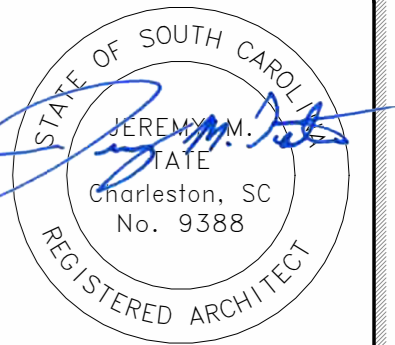


1 SOCIAL SERVICE OFFICE - WEST ELEVATION - PROPOSED
1/8" = 1'-0"

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WELDON AUDITORIUM
RENOVATIONS

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ISSUE DATE: 01/31/25

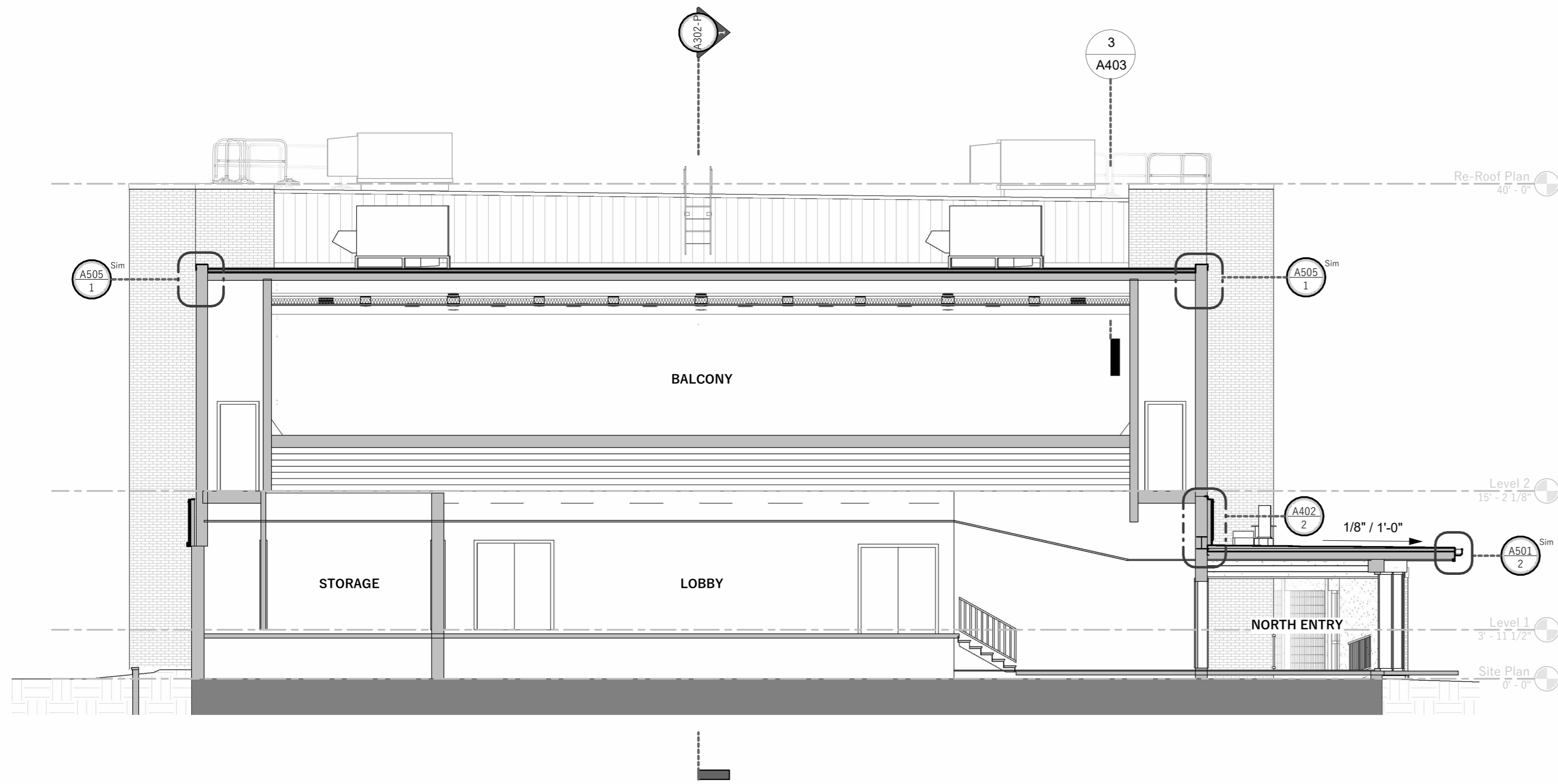
REVISIONS		
#	DATE	NOTES

COURTYARD - EAST & WEST ELEVATION - PROPOSED
A206-P

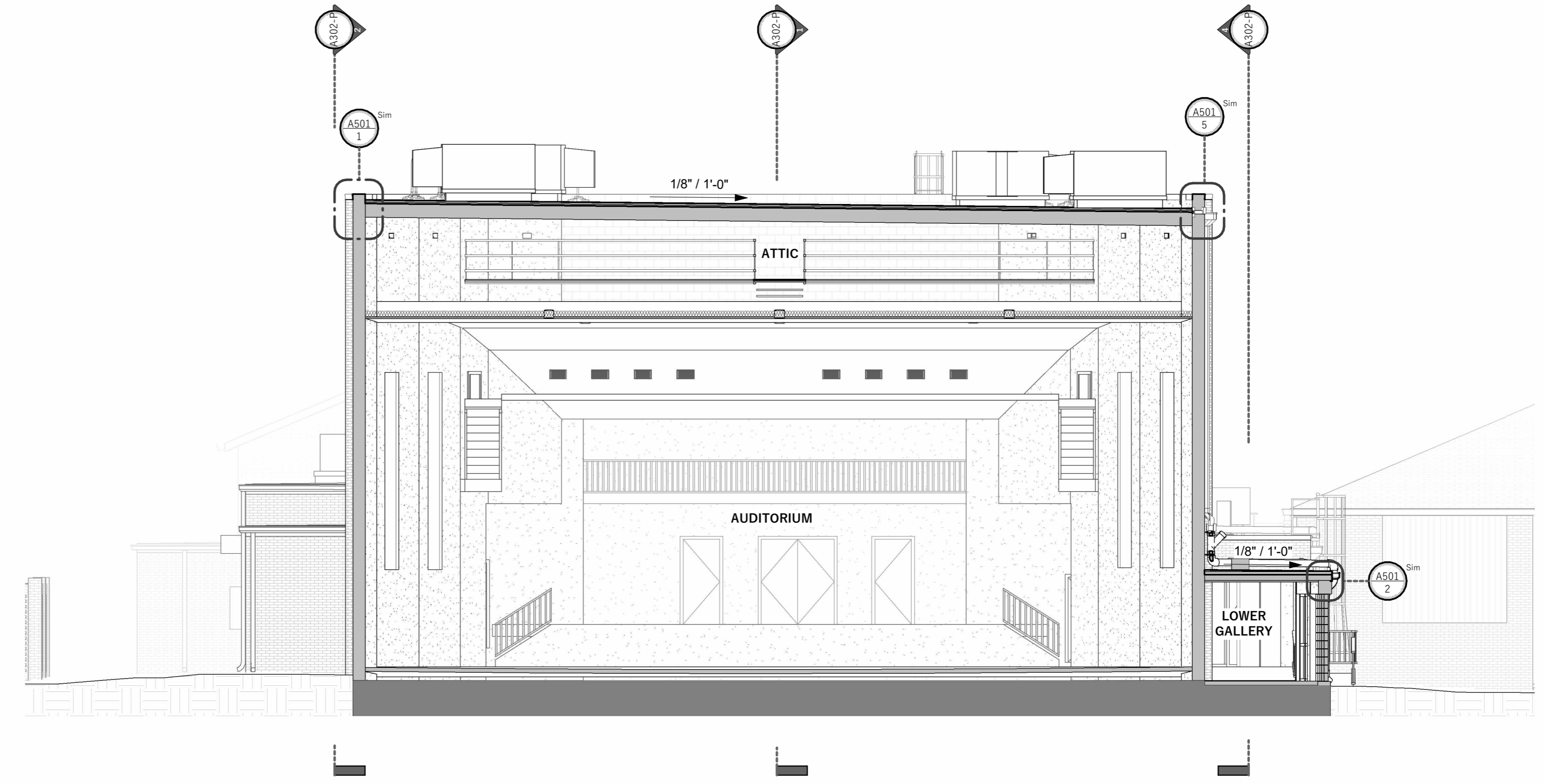
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SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"X36"

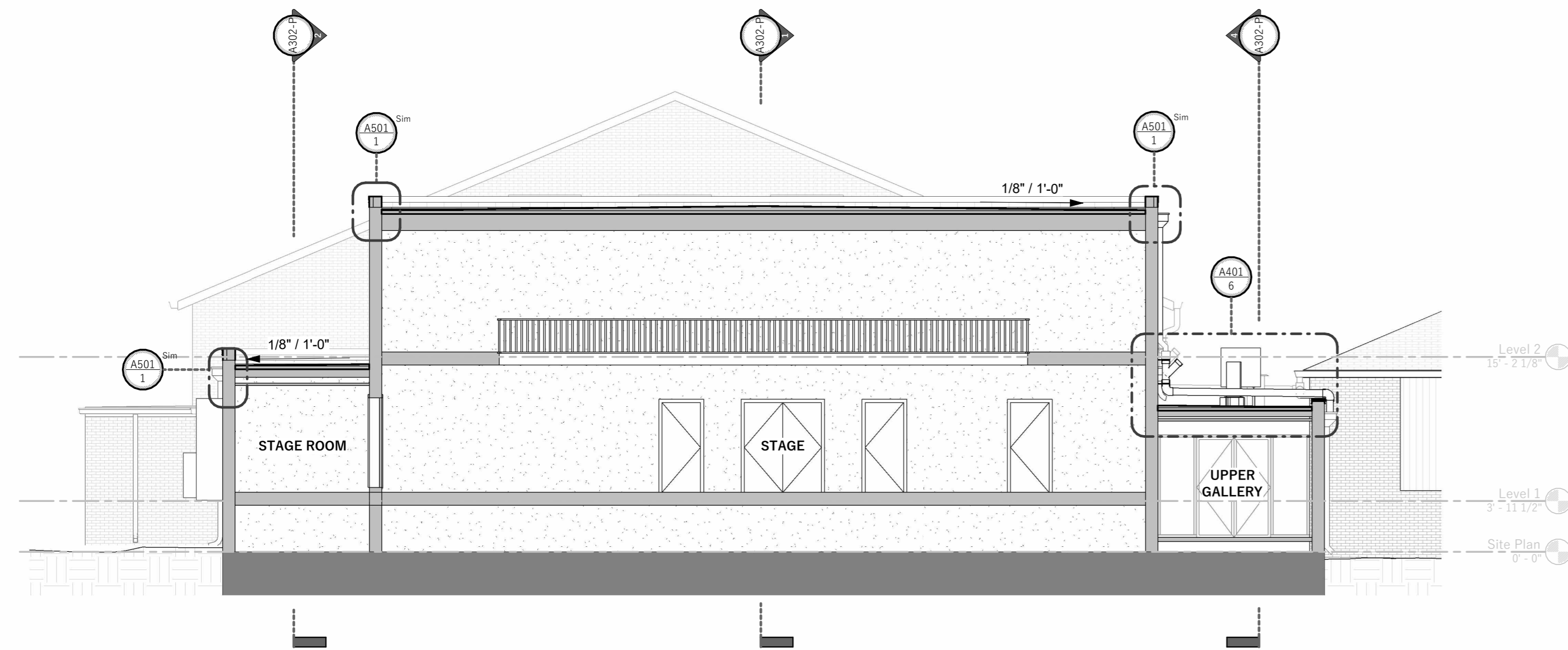
NOTE: THESE SECTIONS ARE FOR SPATIAL RELATIONSHIPS AND TO VISUALLY DIRECT THE CONTRACTOR TO ENLARGED DETAILS. REFER TO PLANS AND ELEVATIONS FOR SCOPE OF WORK.



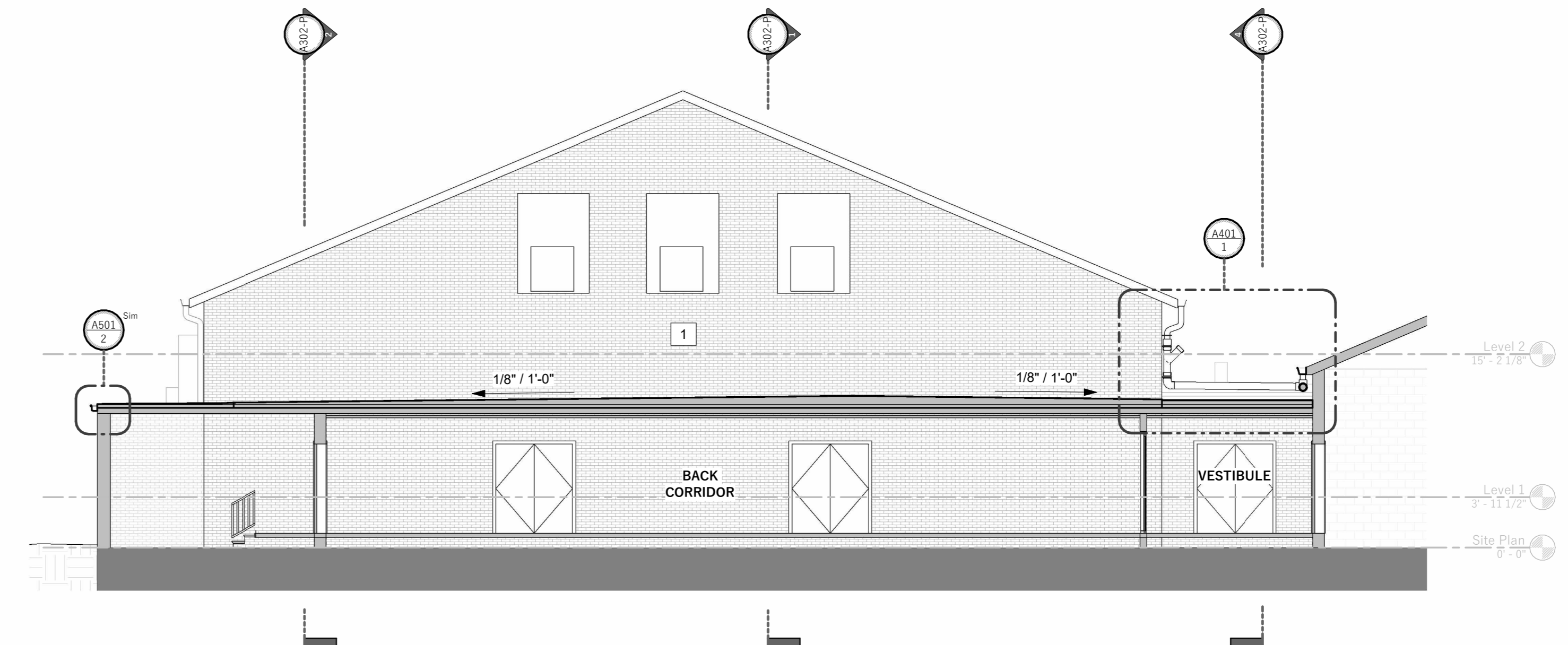
④ NS SECTION THRU LOBBY
1/8" = 1'-0"



③ NS SECTION THRU AUDITORIUM
1/8" = 1'-0"



② NS SECTION THRU STAGE
1/8" = 1'-0"



① NS SECTION THRU BACK CORRIDOR
1/8" = 1'-0"

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REVISIONS

#	DATE	NOTES

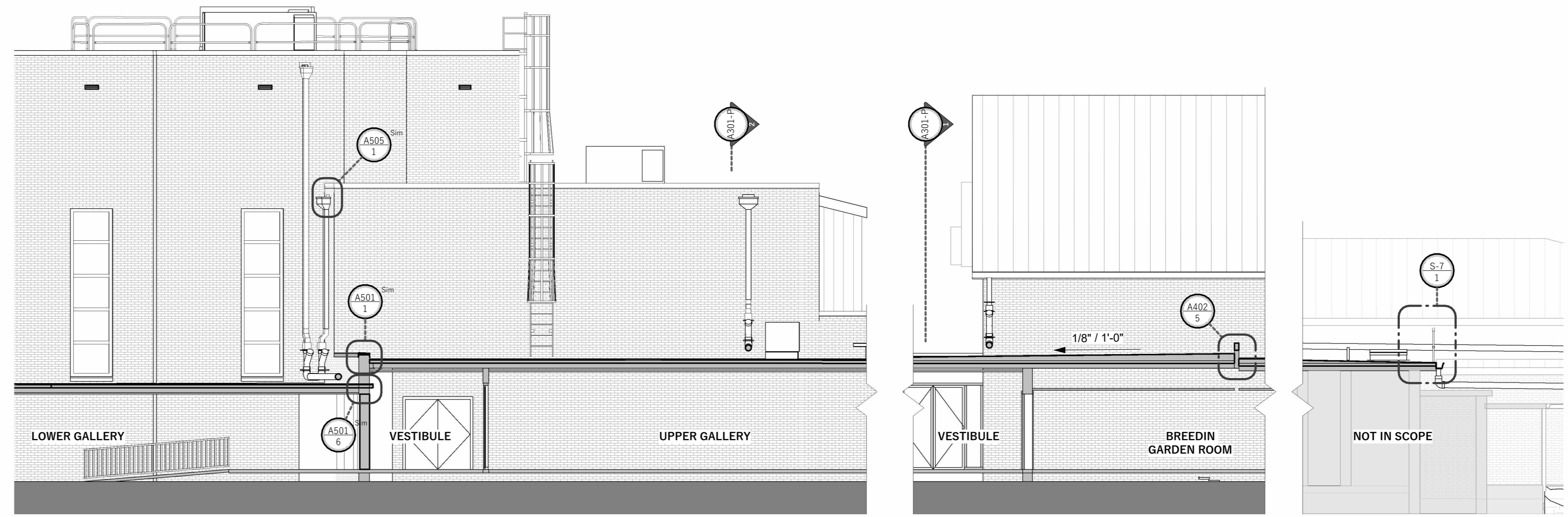
BUILDING SECTIONS - PROPOSED

A301-P

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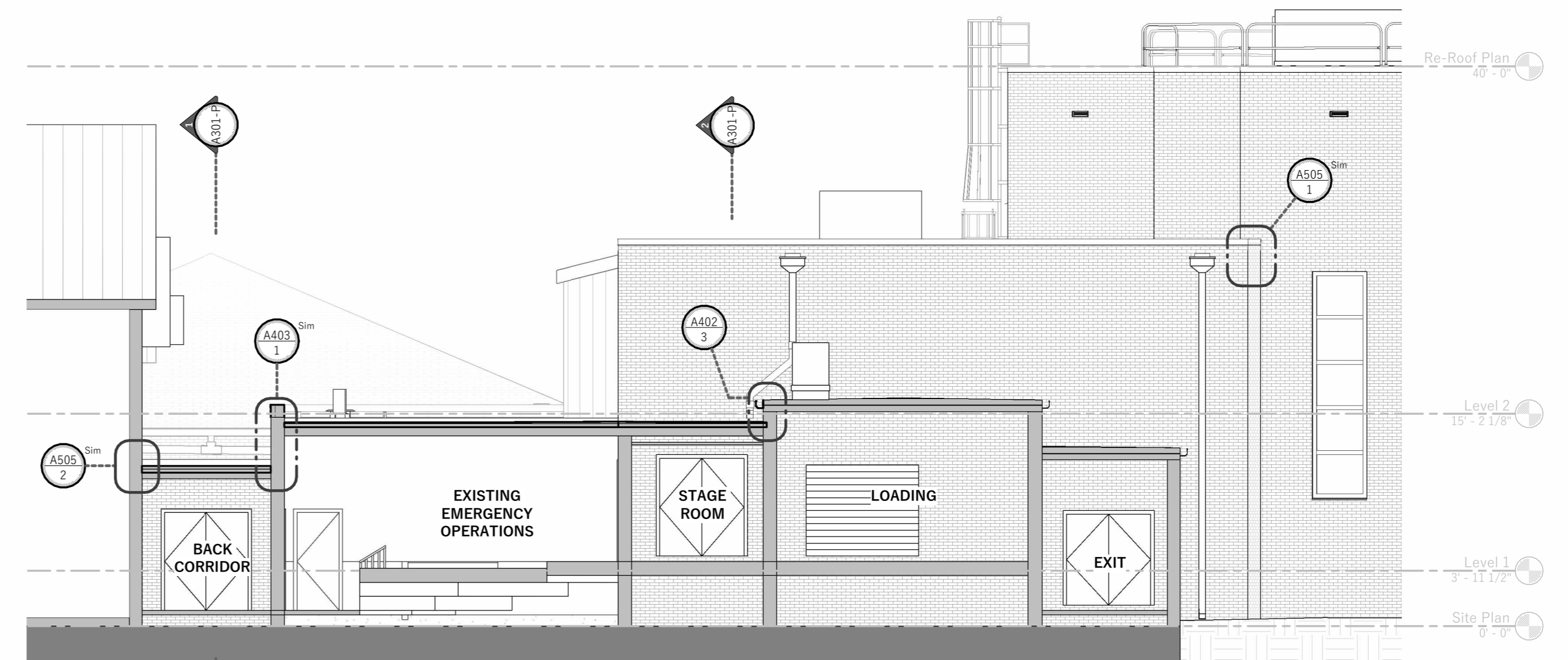
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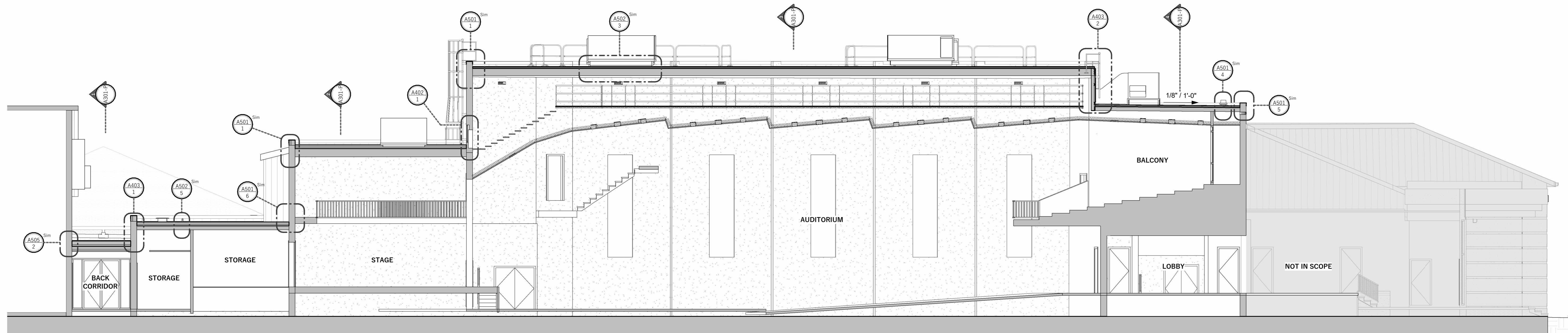
4 EW SECTION THRU UPPER GALLERY & BREEDIN GARDEN ROOM
1/8" = 1'-0"



3 EW SECTION THRU LOWER GALLERY
1/8" = 1'-0"



2 EW SECTION THRU LOADING & BACK CORRIDOR
1/8" = 1'-0"



1 EW SECTION THRU AUDITORIUM
1/8" = 1'-0"

PERMIT

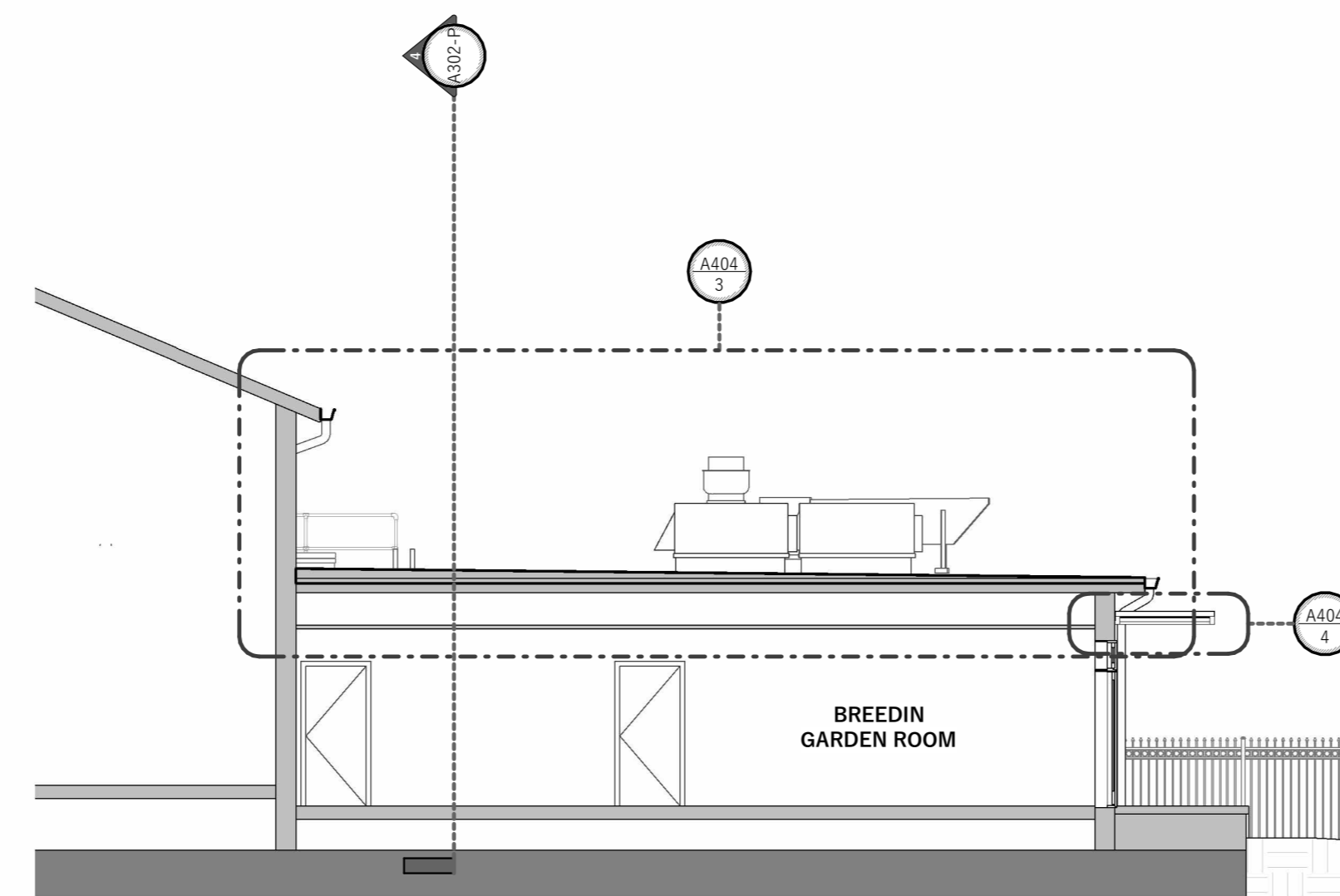
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#	DATE	NOTES

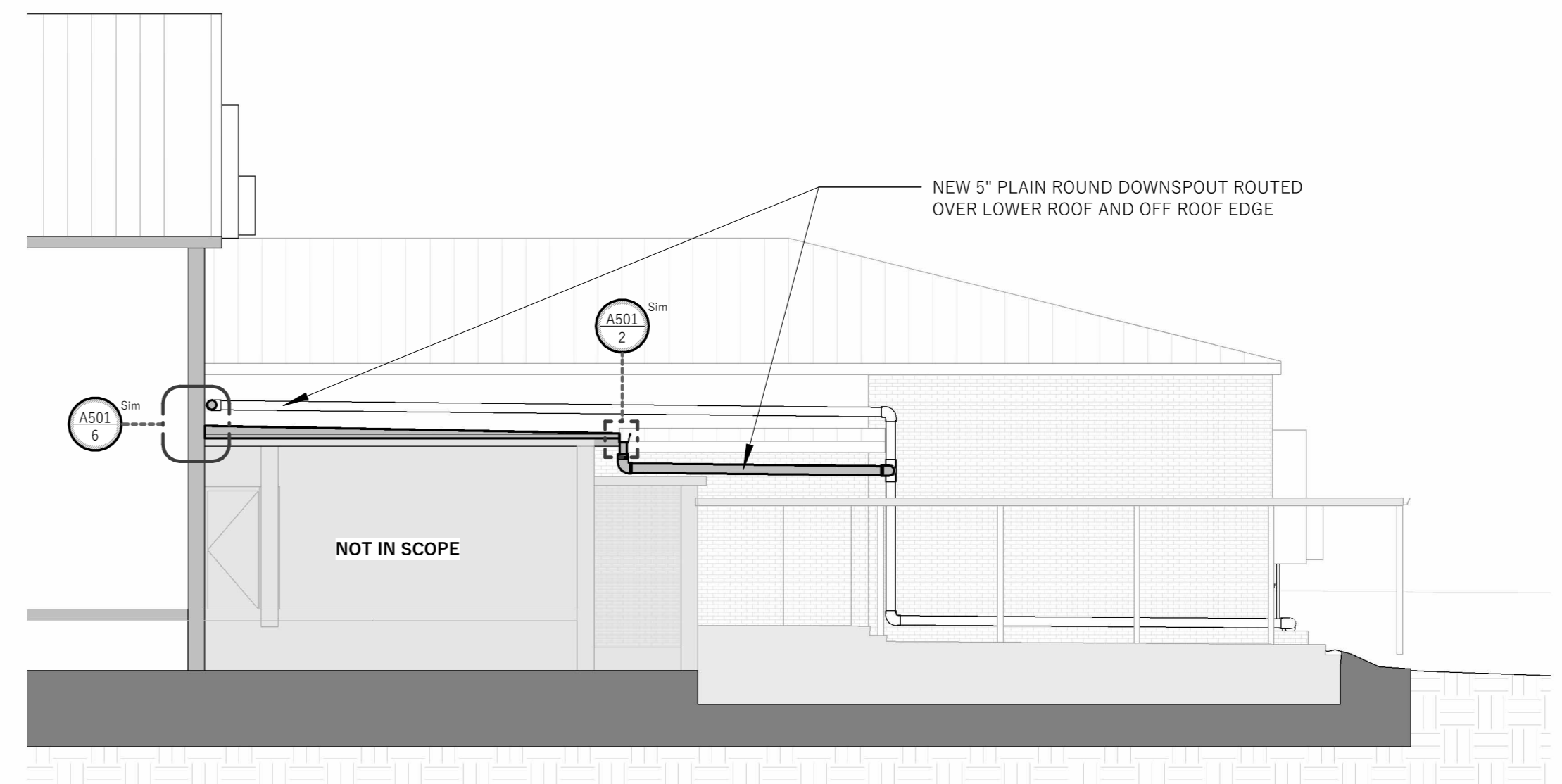
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SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"X36"

NOTE: THESE SECTIONS ARE FOR SPATIAL RELATIONSHIPS AND TO VISUALLY DIRECT THE CONTRACTOR TO ENLARGED DETAILS. REFER TO PLANS AND ELEVATIONS FOR SCOPE OF WORK.



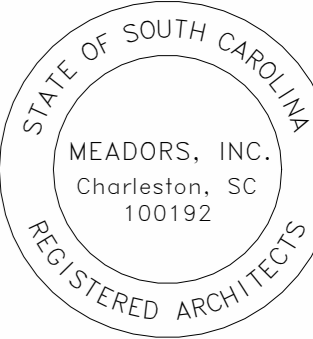
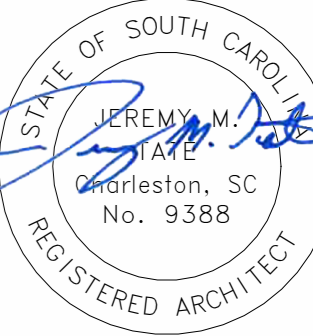
② NS SECTION THRU BREEDIN GARDEN ROOM
1/8" = 1'-0"



① EW SECTION THRU EXISTING REAR CANOPY
1/8" = 1'-0"

MEADORS
SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8565
Architecture ■ Construction ■ Design Services ■ Cabinetry & Millwork ■ Conservation & Preservation Planning ■ Estate Management



**WELDON AUDITORIUM
RENOVATIONS**

7 Maple Street
Manning, SC 29102

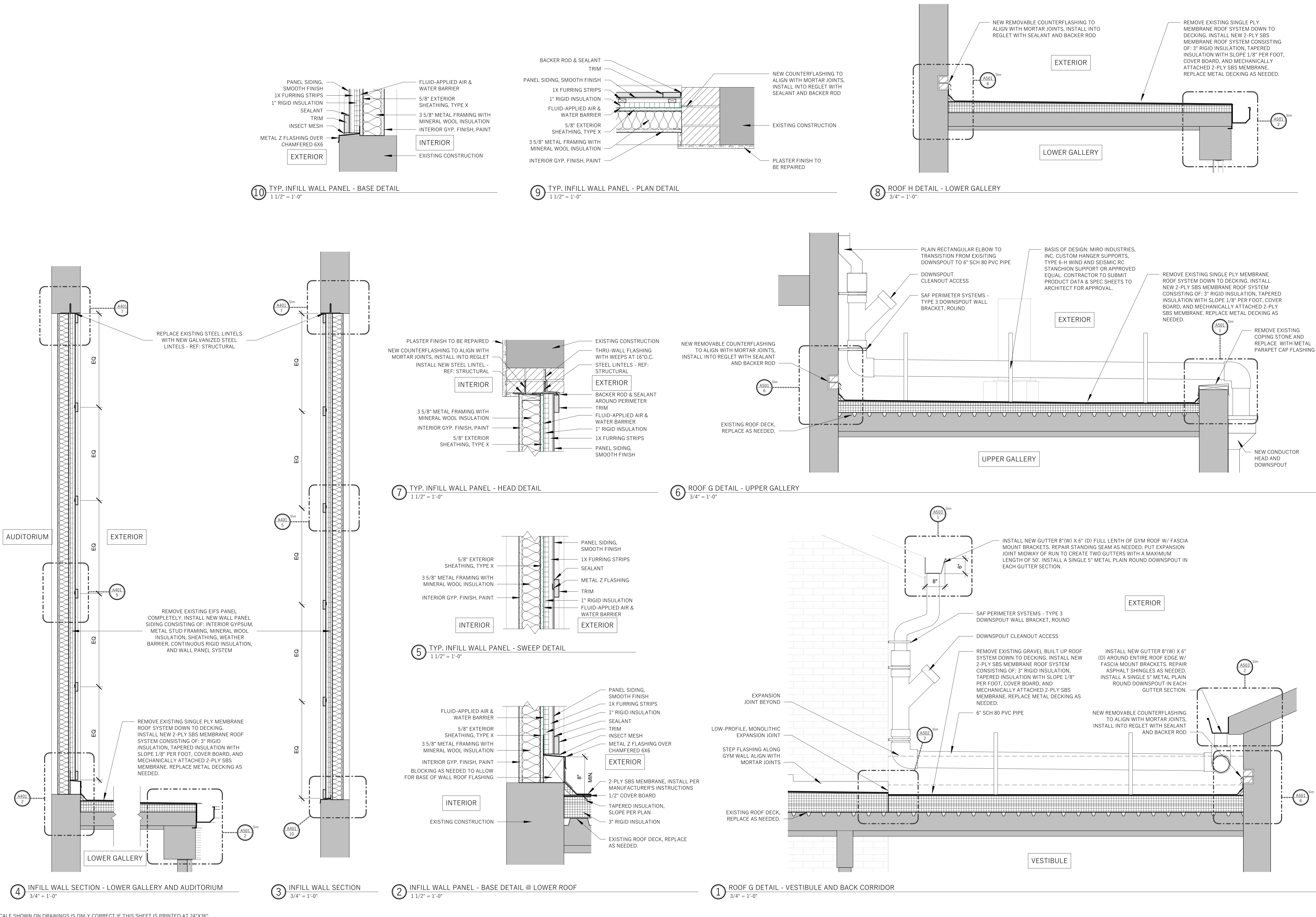
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PROJ. NO. 21-0053
ISSUE DATE: 01/31/25

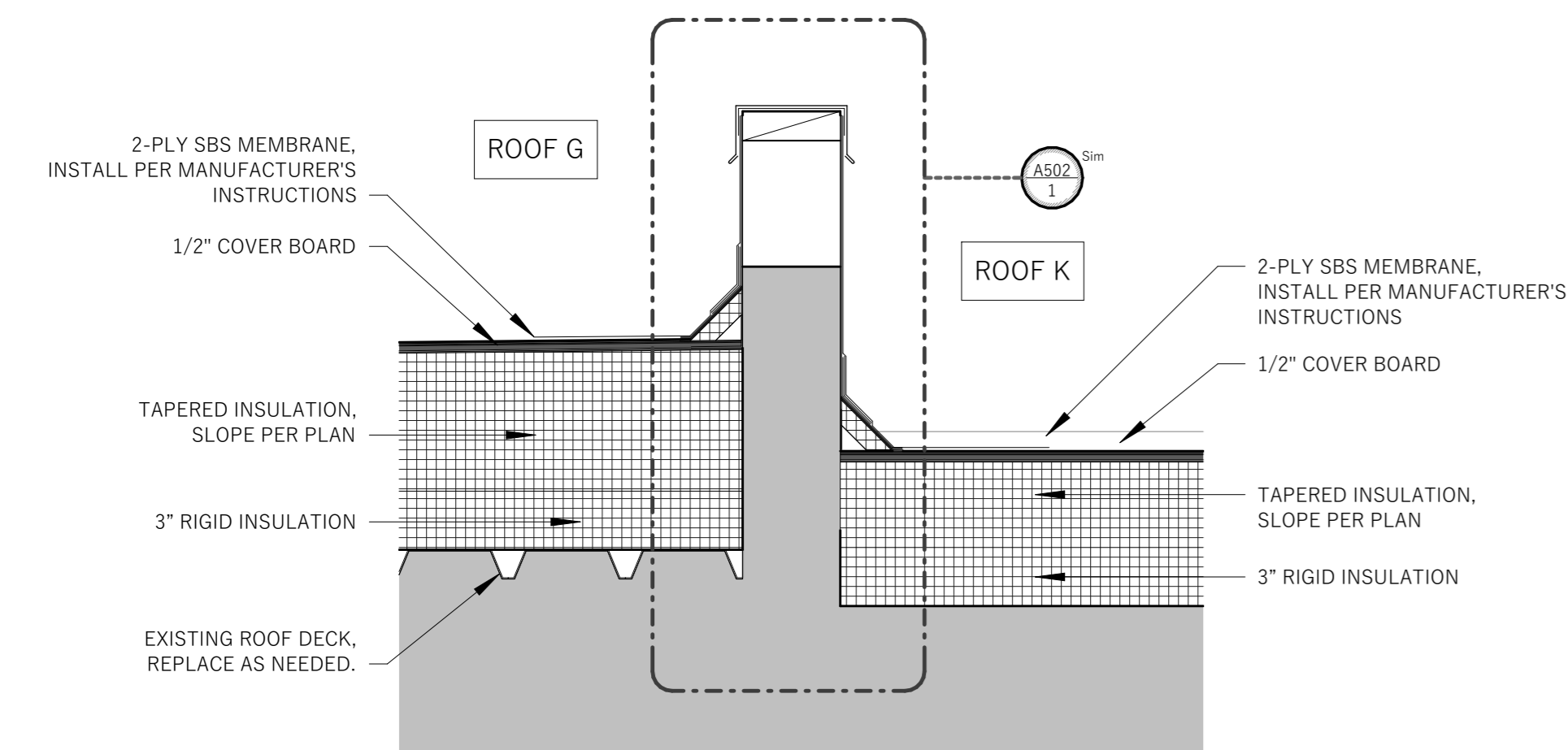
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#	DATE	NOTES

BUILDING
SECTIONS -
PROPOSED

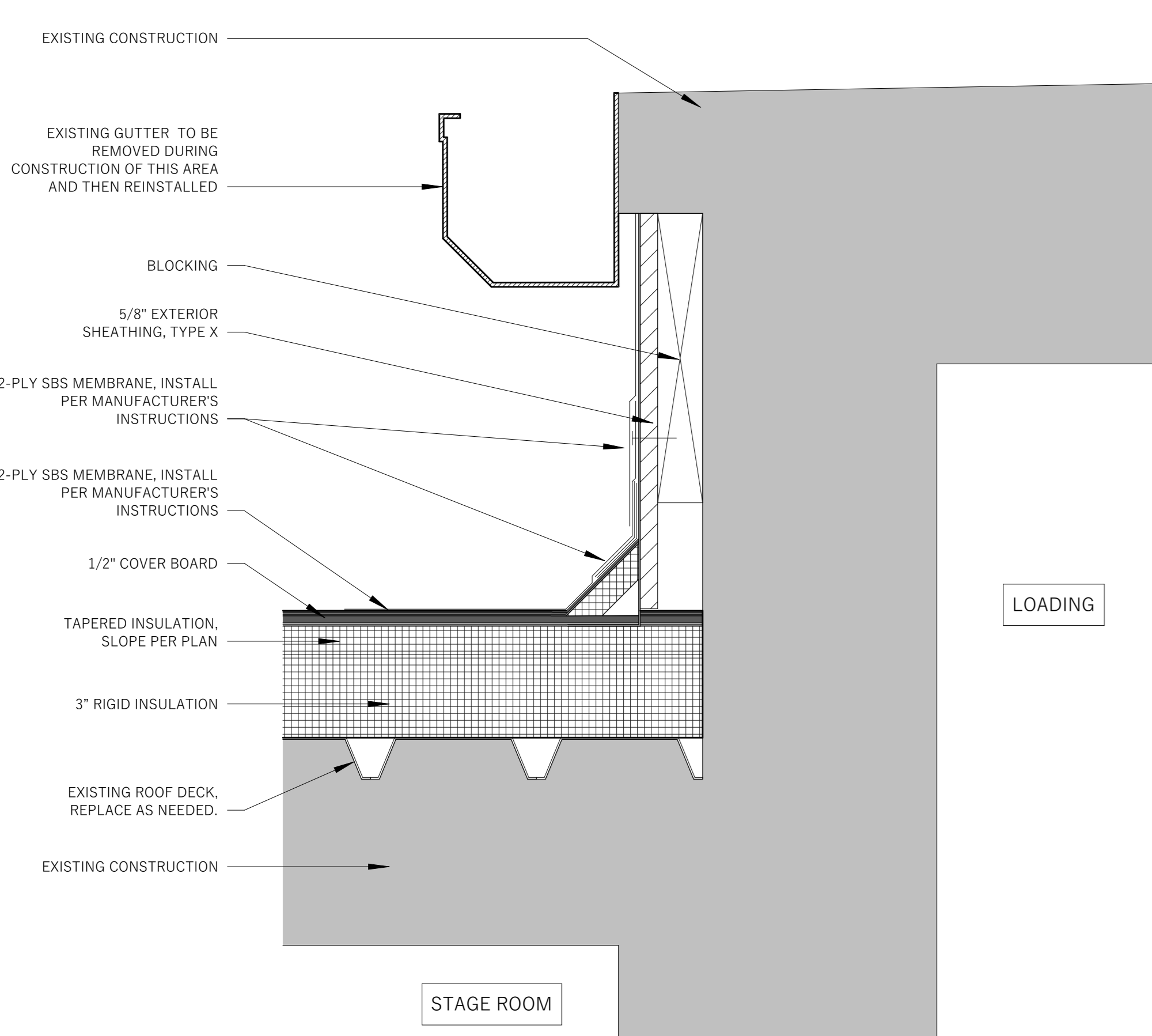
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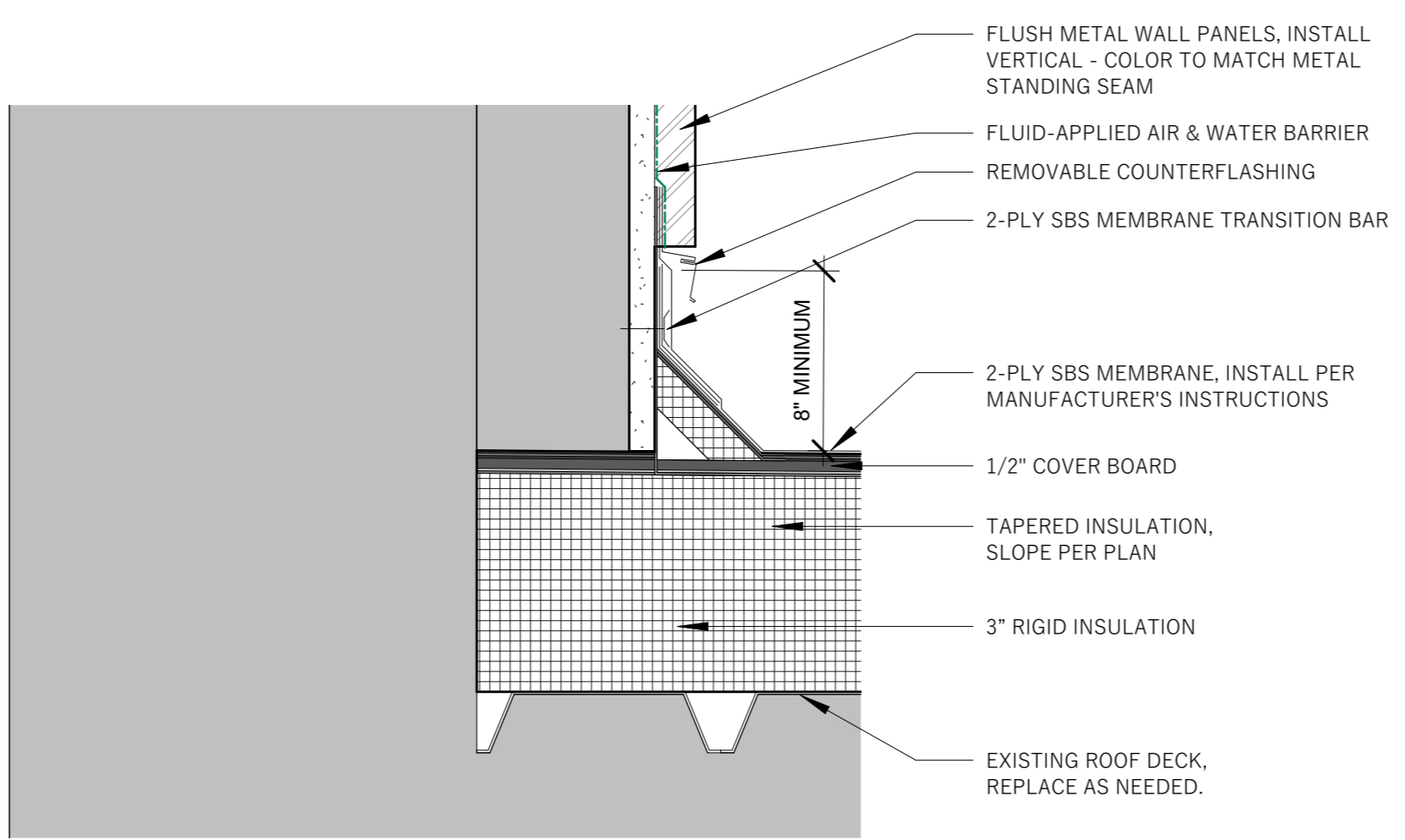
5 EXPANSION JOINT DETAIL - ROOF G TO ROOF K
1 1/2" = 1'-0"



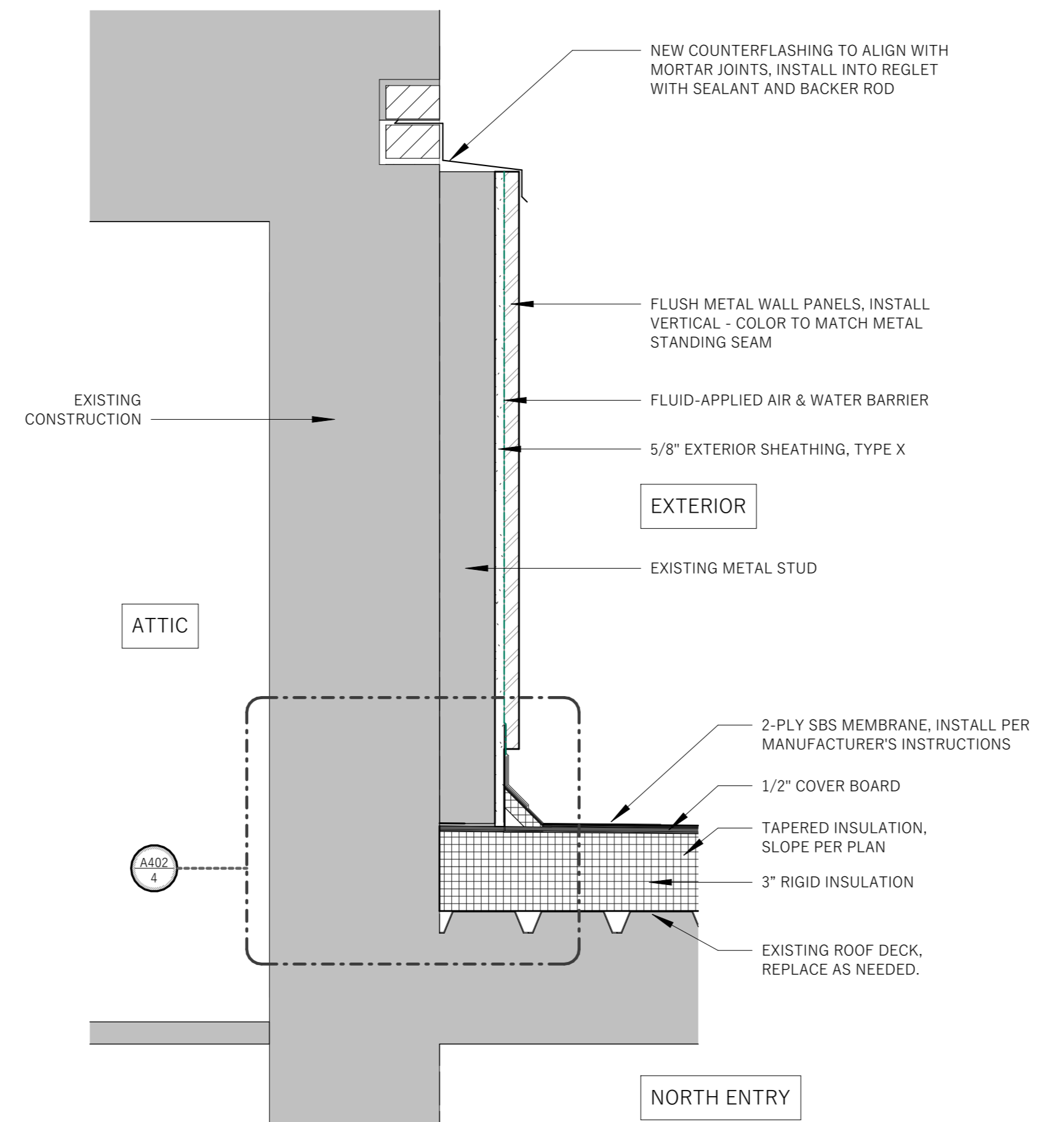
3 SECTION AT EXPOSED PERM-A-BARRIER
3" = 1'-0"



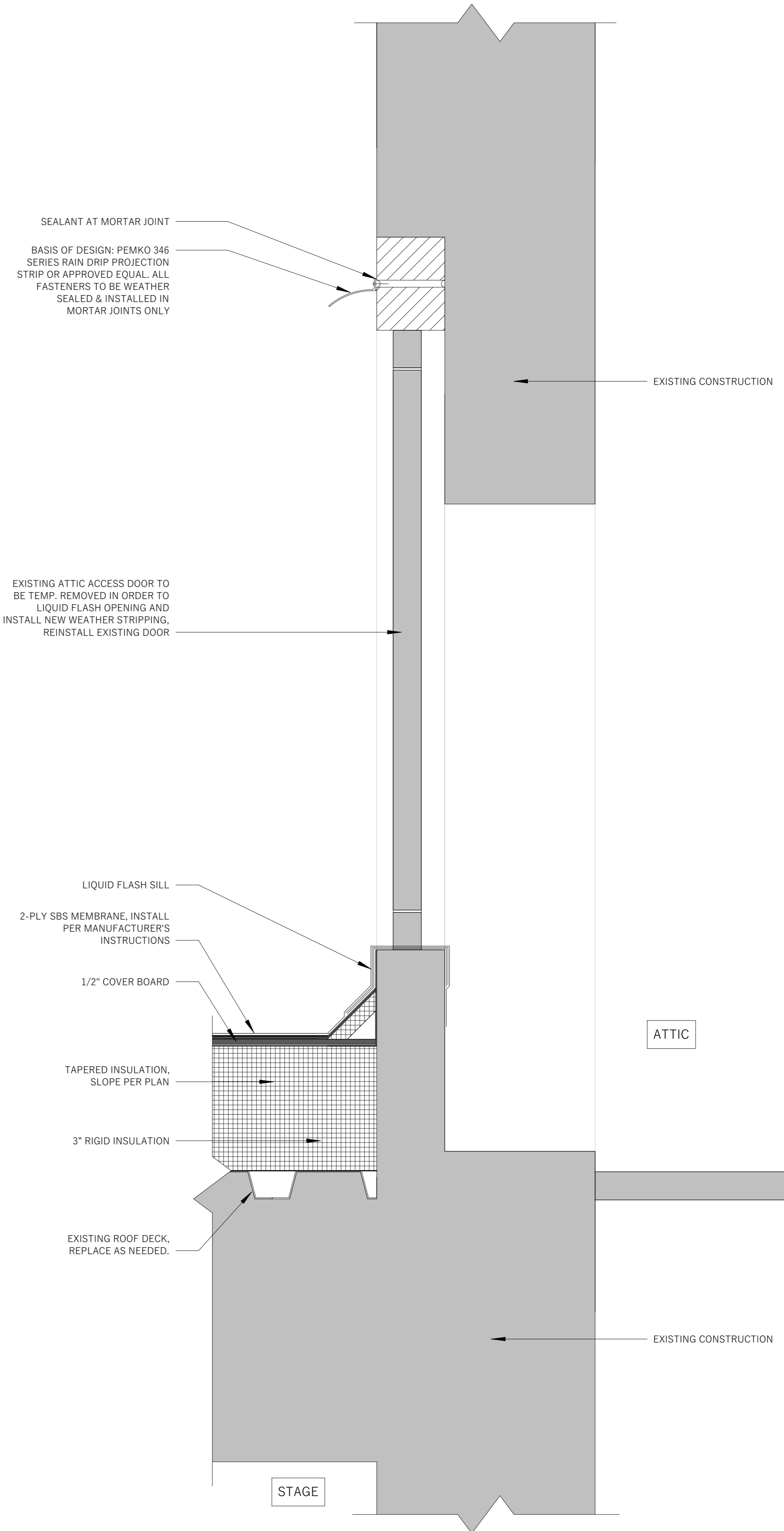
6 EXISTING ROOFING CONDITION AT ROOF G & D
N.T.S.



4 METAL CLAD BANDING - BASE DETAIL
3" = 1'-0"



2 METAL CLAD BANDING WALL SECTION
1 1/2" = 1'-0"

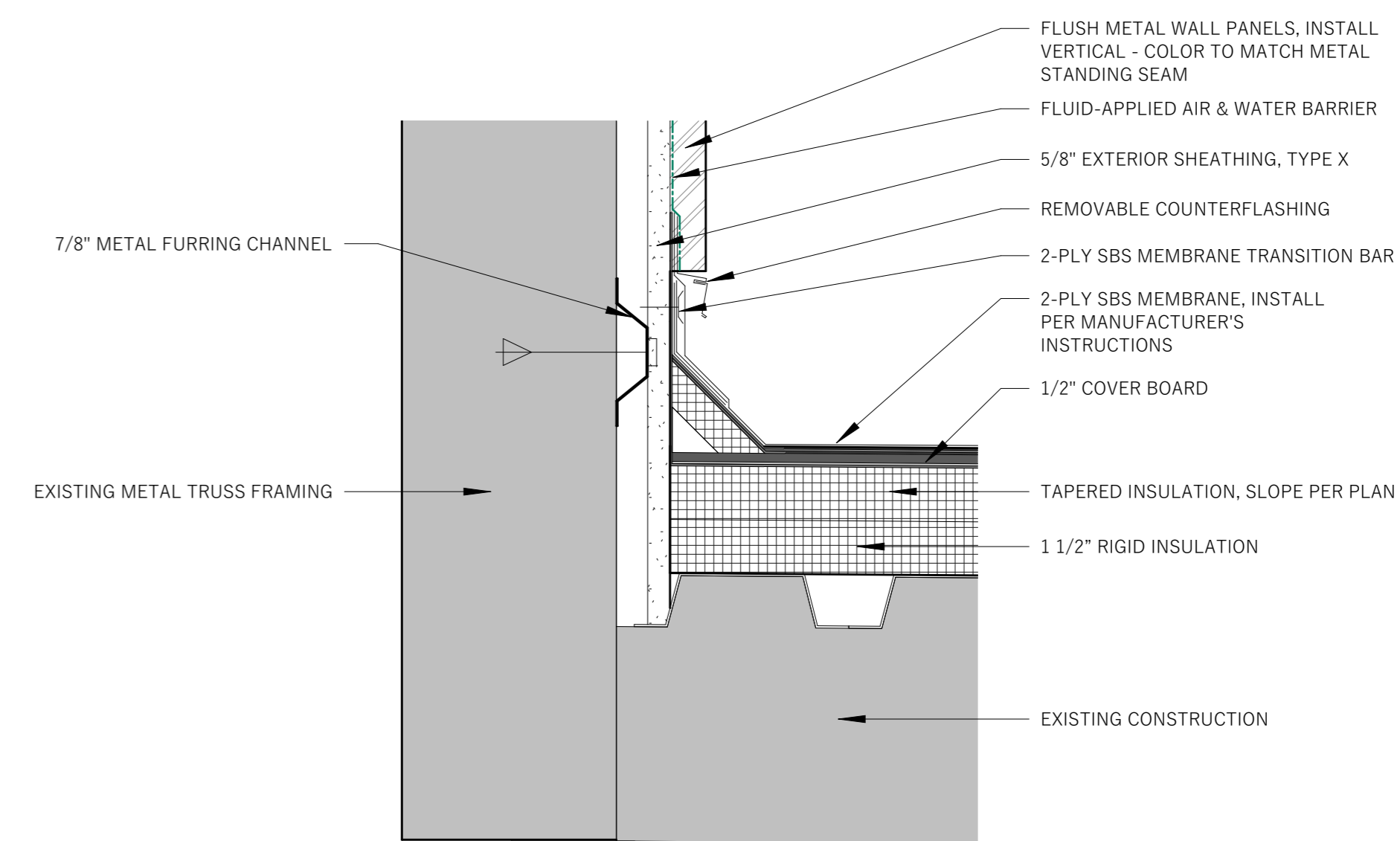


1 ATTIC DOOR DETAIL
3" = 1'-0"

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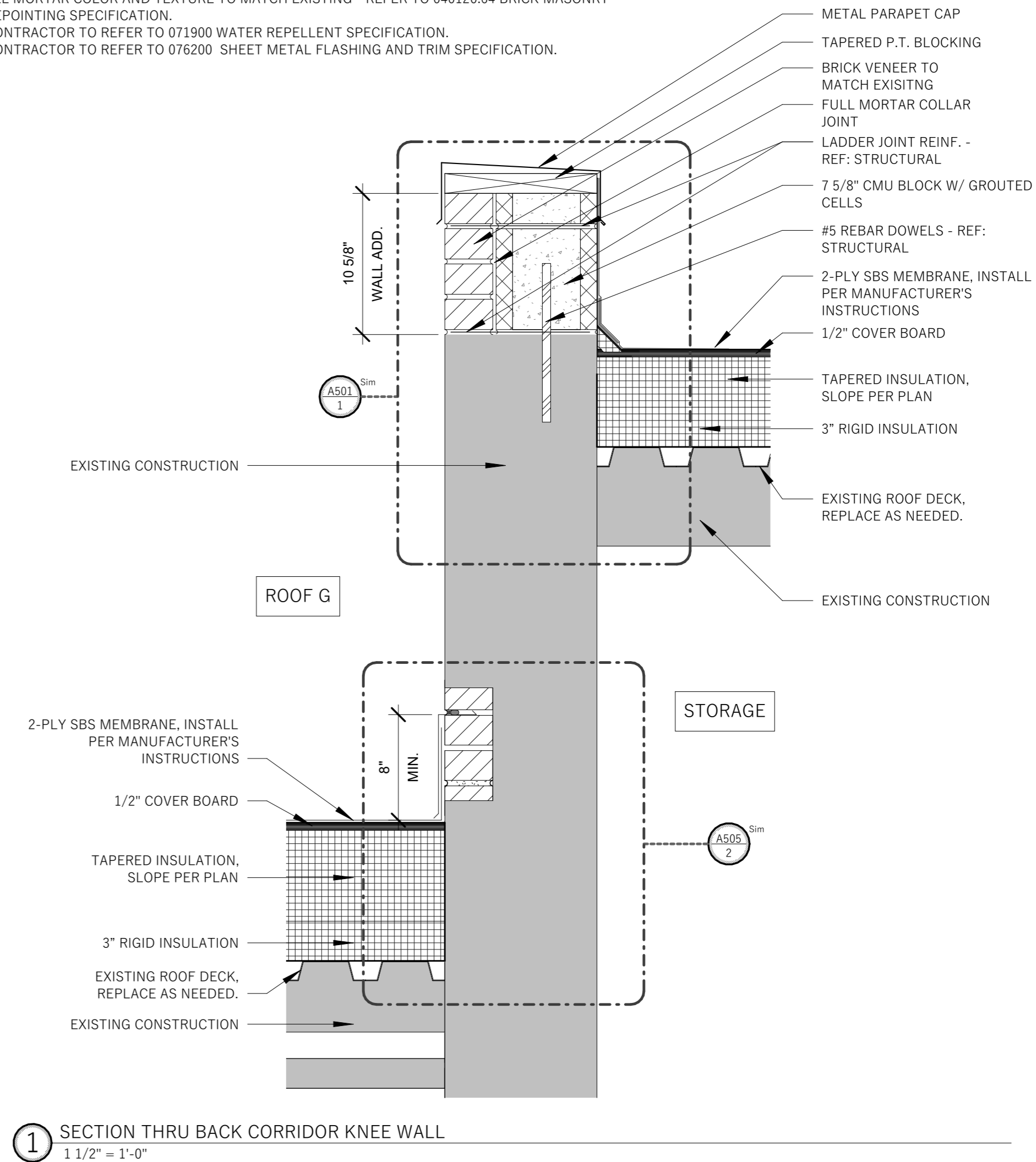
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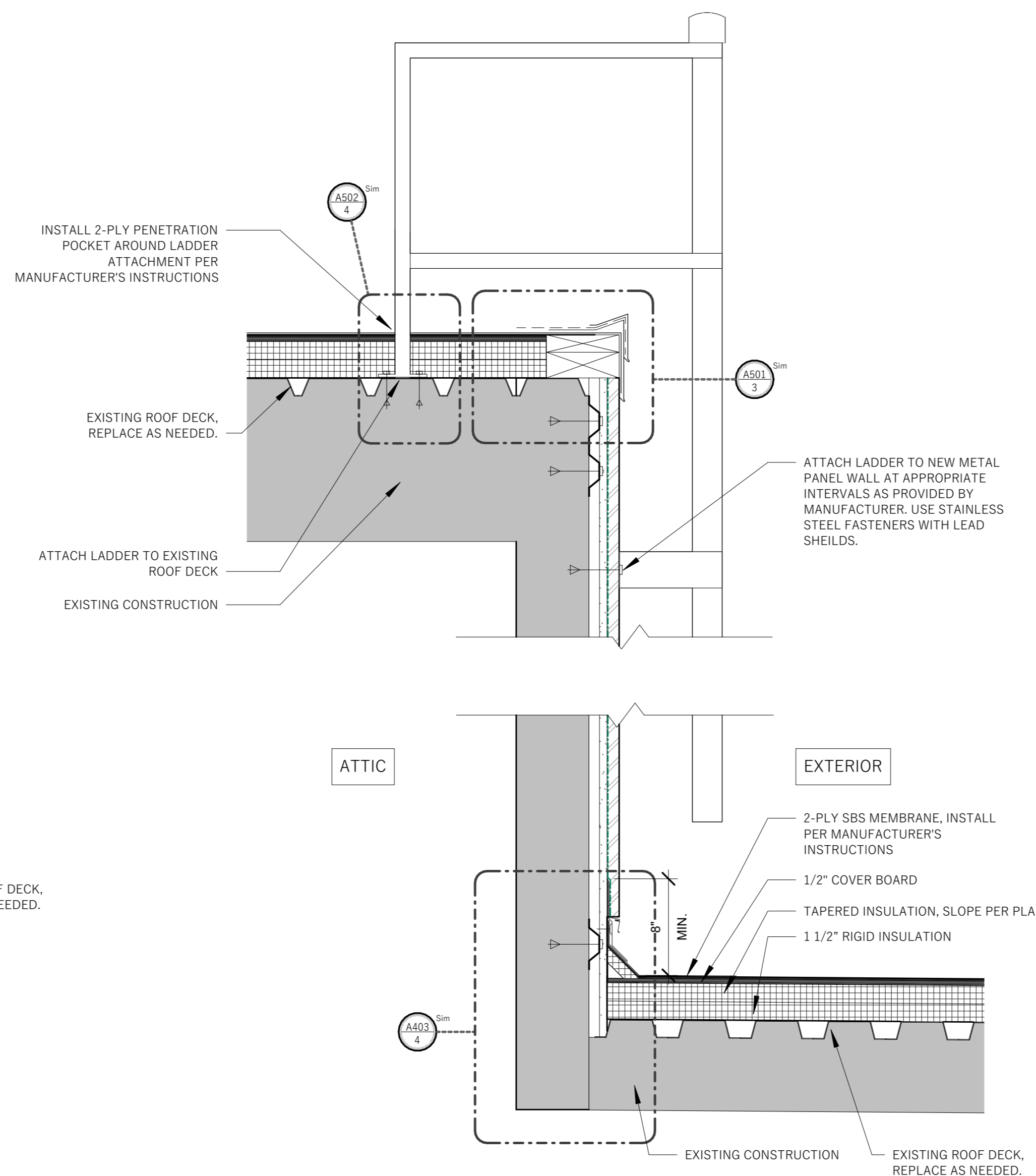
4 METAL PARAPET WALL - BASE DETAIL
3" = 1'-0"

NEW MASONRY:

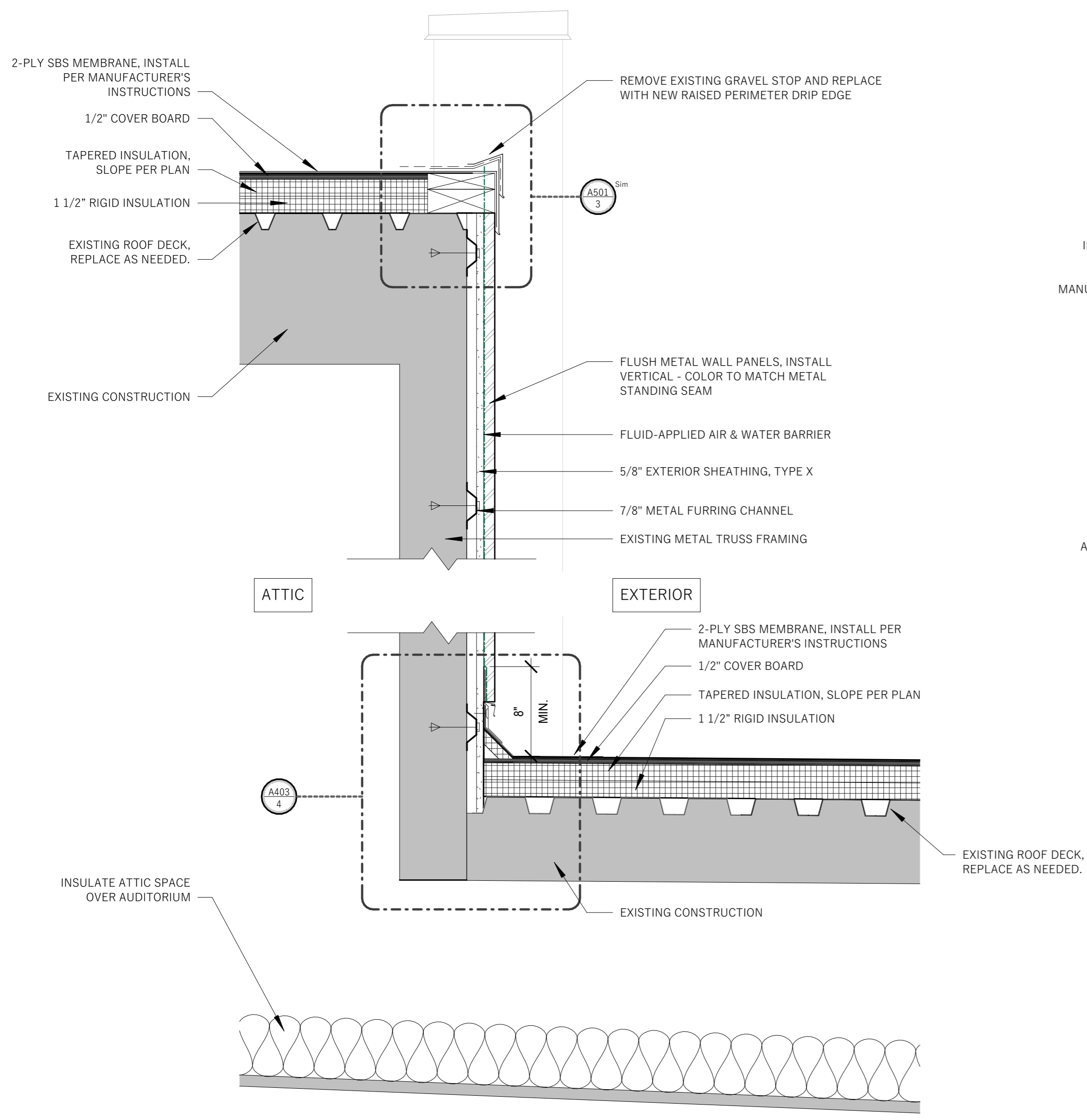
1. MASONRY UNITS TO MATCH IN SIZE, TEXTURE, AND COLOR TO EXISTING ADJACENT. CONTRACTOR TO PROVIDE SAMPLES TO ARCHITECT FOR REVIEW AND APPROVAL. MASONRY UNITS SHALL BE GRADE SW, COMPLYING WITH ASTM C652, HBX.
2. CONTRACTOR TO CREATE IN-SITU MOCKUP FOR ARCHITECT TO APPROVE. MOCKUP TO BE FULL FOUR COURSES HIGH AND FOUR FEET WIDE. REFER TO 014339 MOCKUP SPECIFICATION.
3. ALL MORTAR TOOLING TO MATCH EXISTING.
4. ALL MORTAR COLOR AND TEXTURE TO MATCH EXISTING - REFER TO 040120.64 BRICK MASONRY REPOINTING SPECIFICATION.
5. CONTRACTOR TO REFER TO 071900 WATER REPELLENT SPECIFICATION.
6. CONTRACTOR TO REFER TO 076200 SHEET METAL FLASHING AND TRIM SPECIFICATION.



1 SECTION THRU BACK CORRIDOR KNEE WALL
1 1/2" = 1'-0"



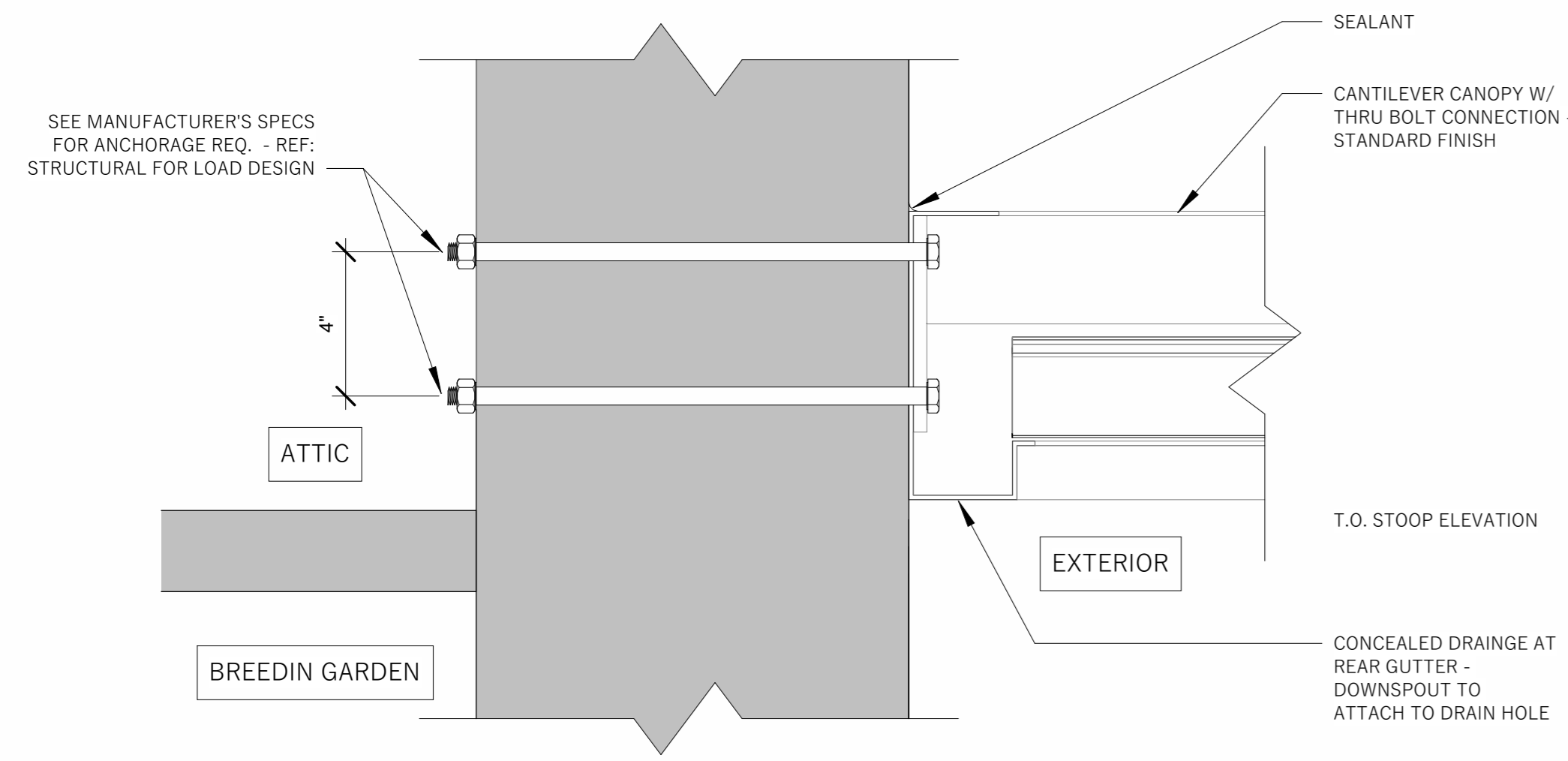
2 SECTION THRU METAL PARAPET LADDER
1 1/2" = 1'-0"



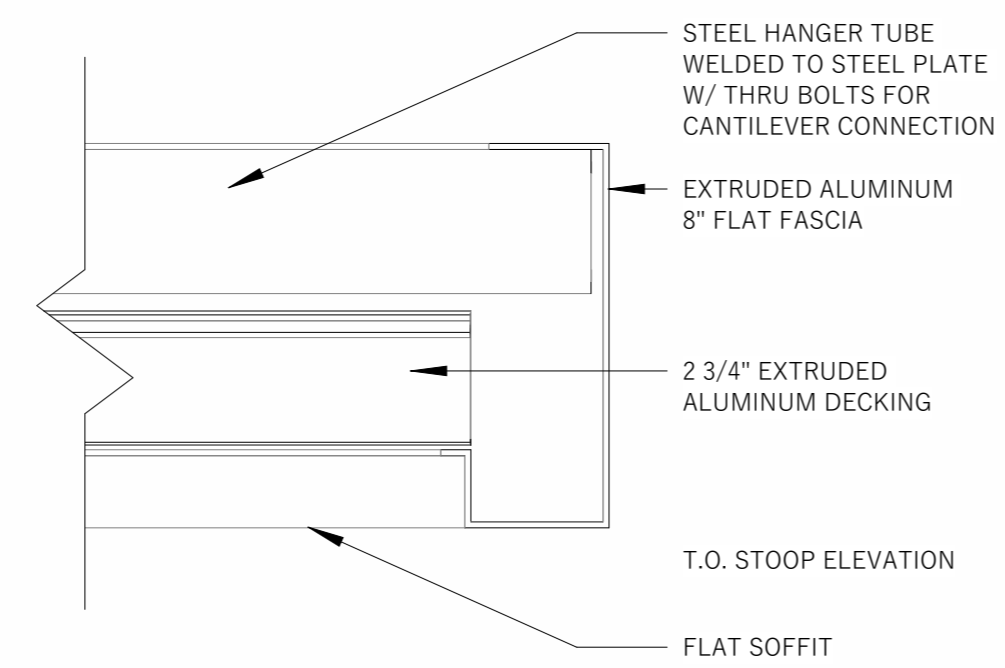
3 SECTION THRU METAL PARAPET WALL
1 1/2" = 1'-0"

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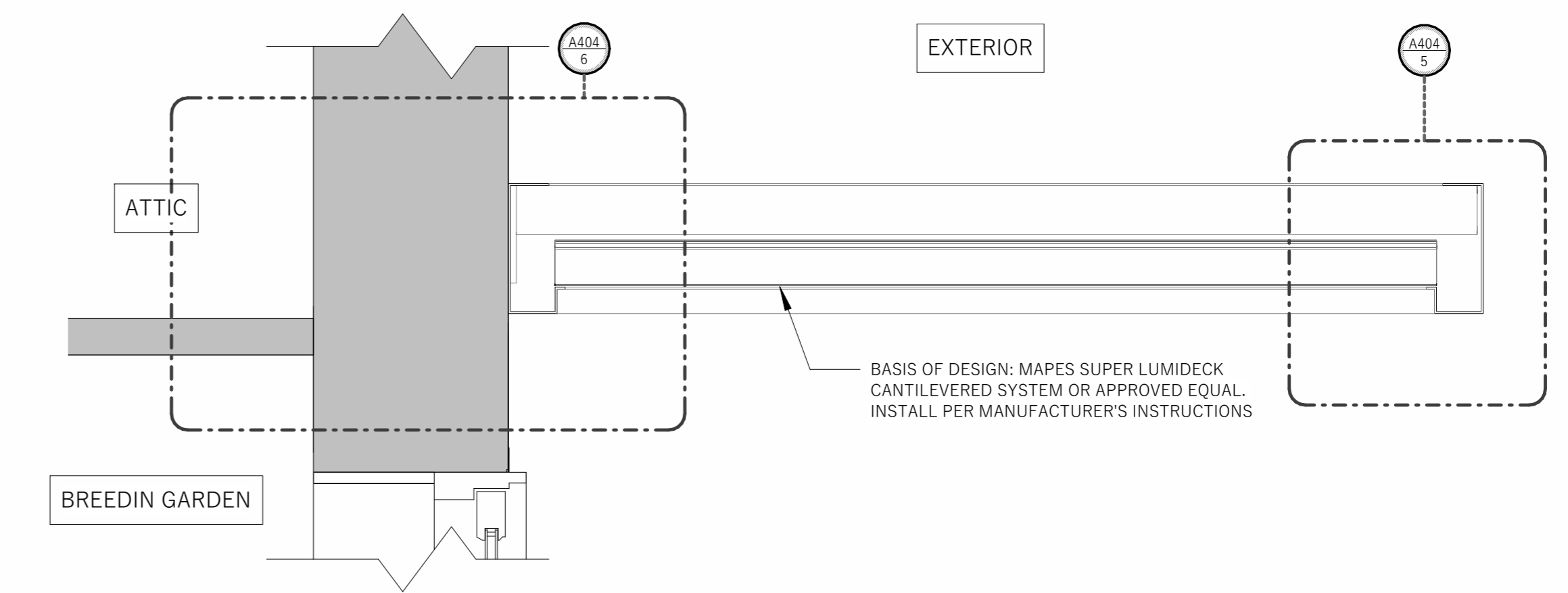
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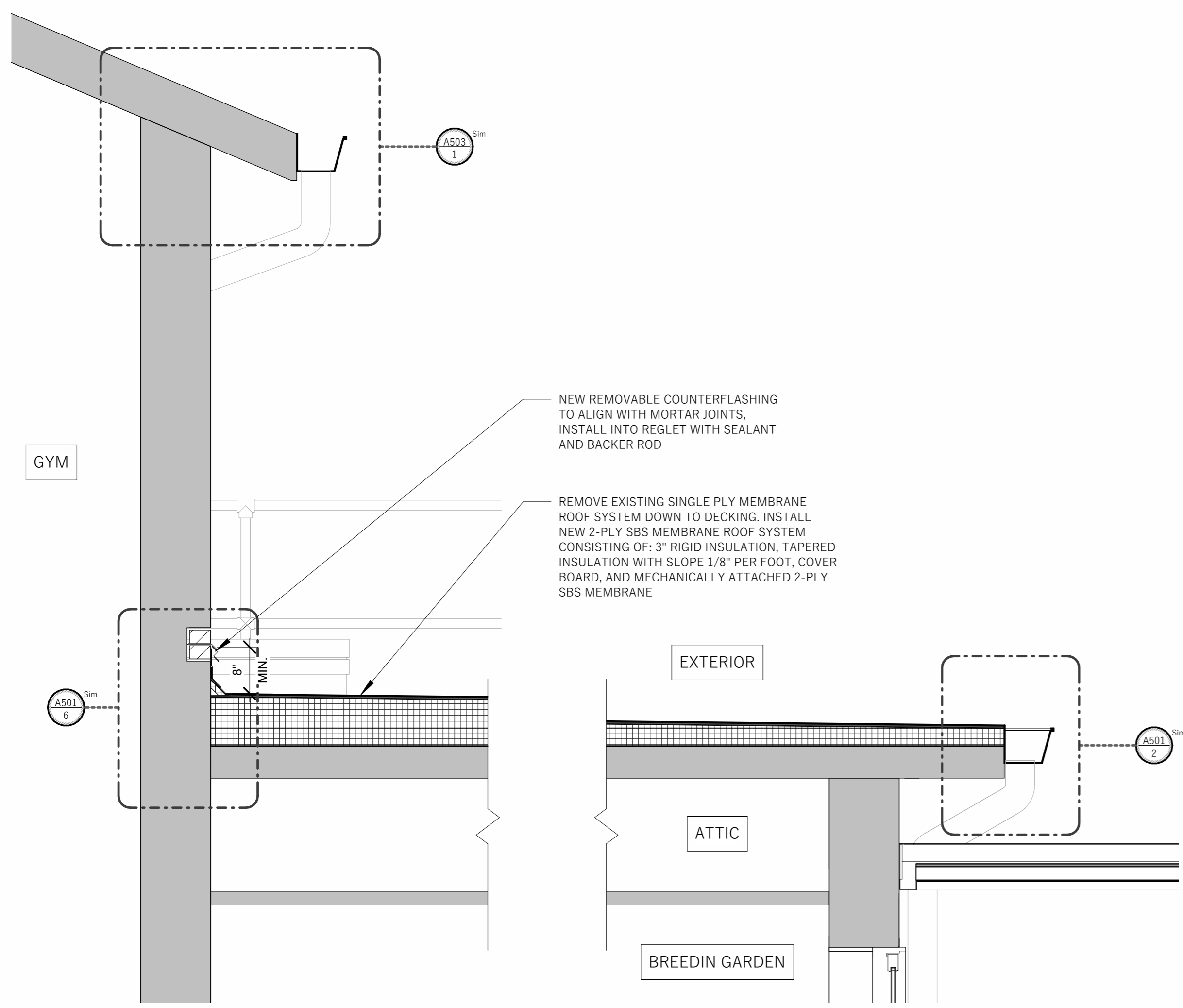
6 CANOPY WALL CONNECTION DETAIL
3" = 1'-0"



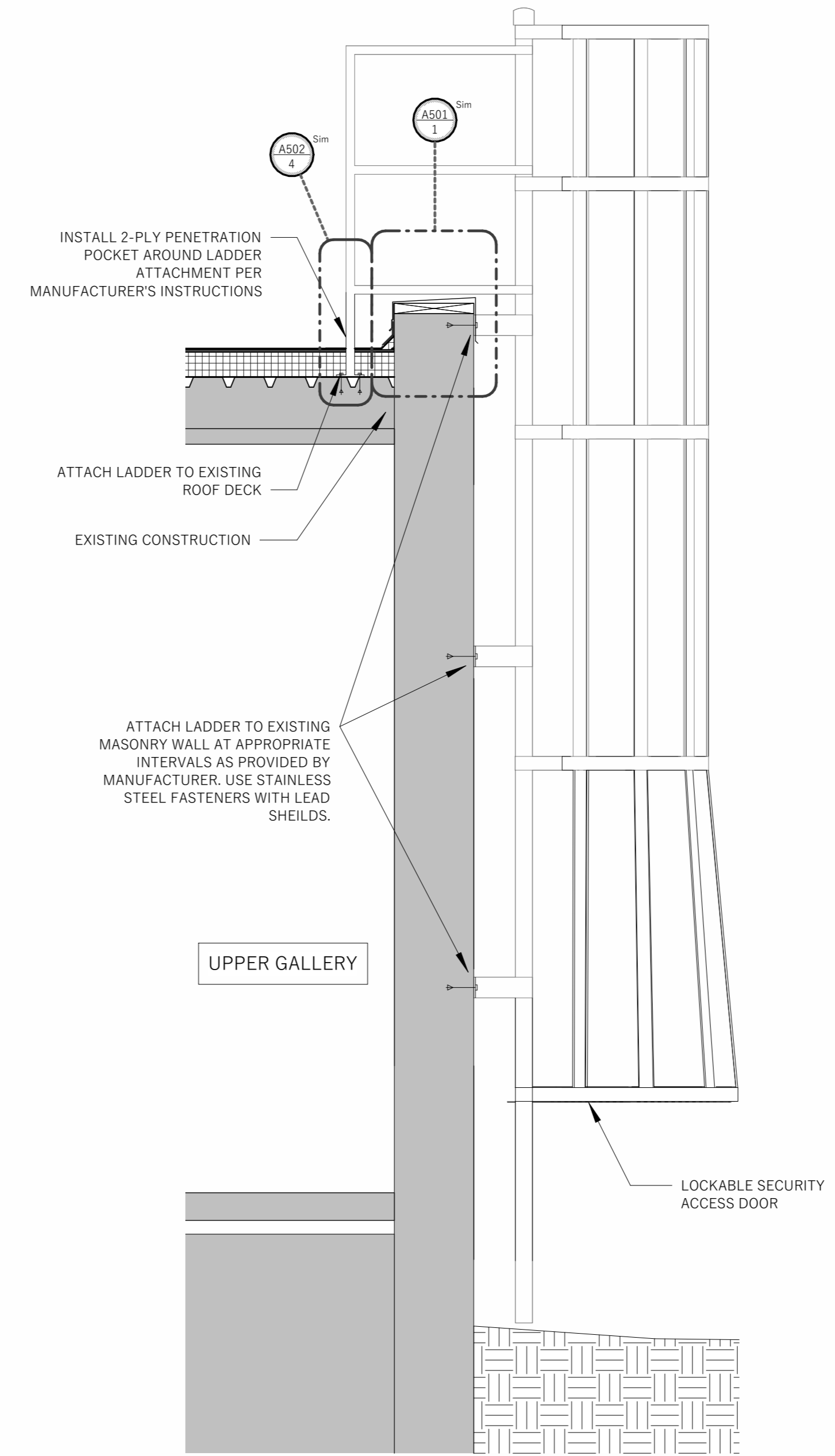
5 CANOPY EDGE DETAIL
3" = 1'-0"



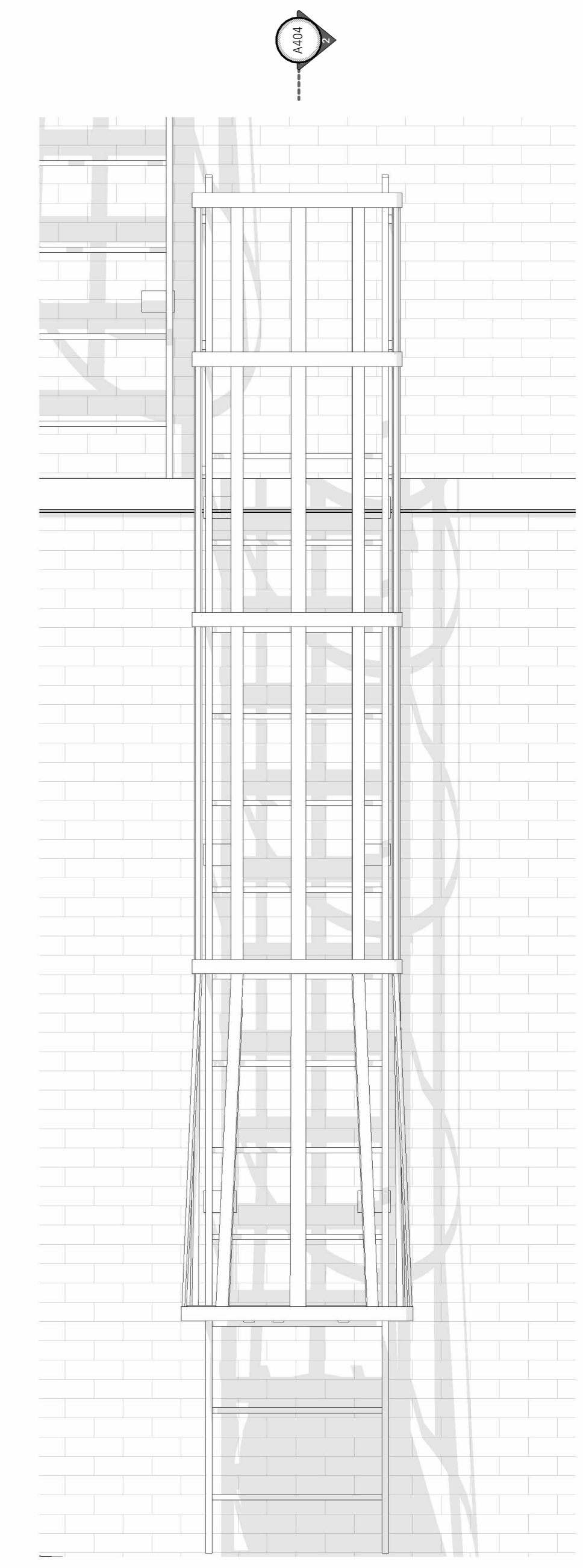
4 BREEDIN GARDEN ROOM CANOPY
1 1/2" = 1'-0"



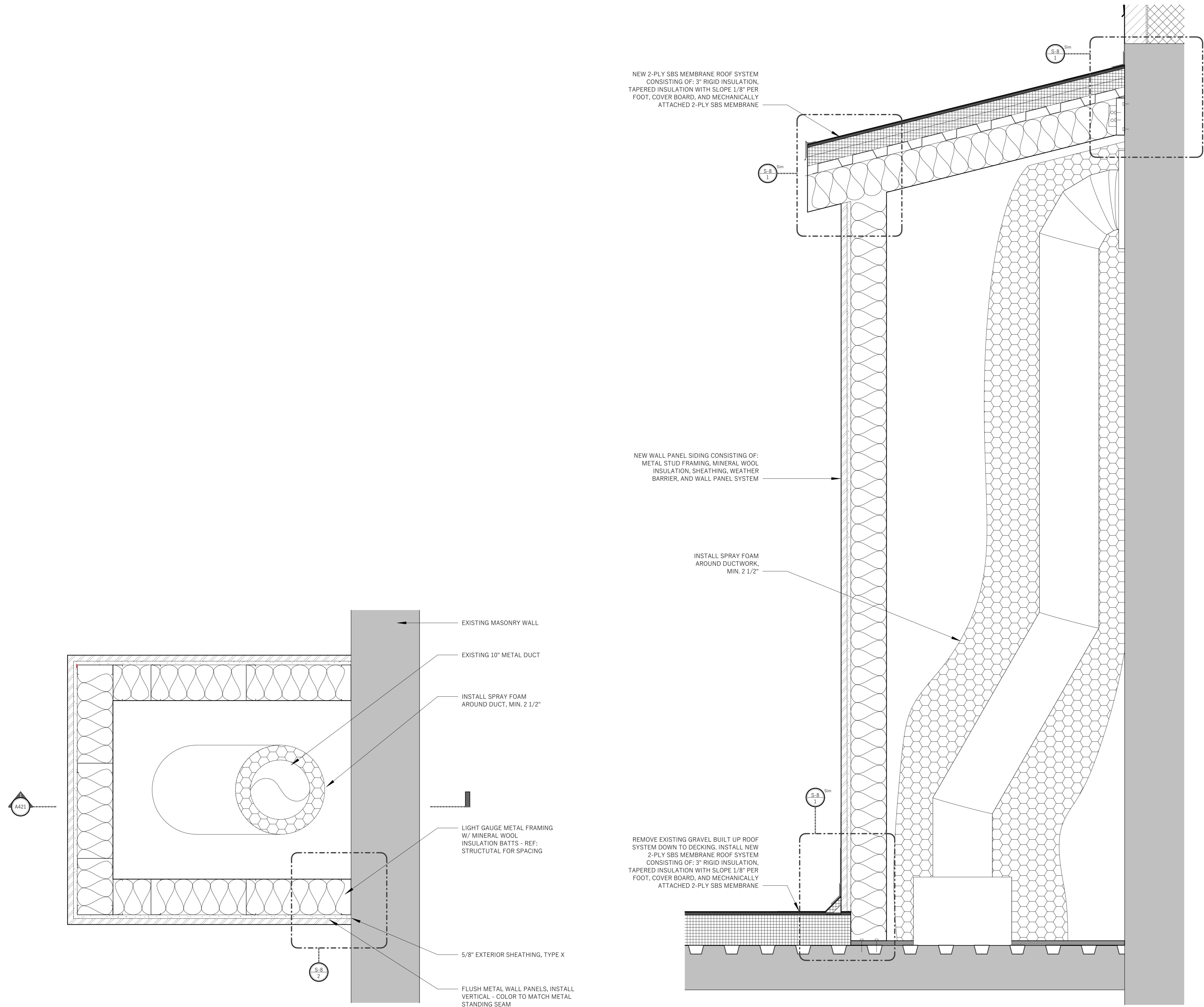
3 ROOF K DETAIL - BREEDIN GARDEN ROOM
3/4" = 1'-0"



2 SECTION THRU ACCESS LADDER
3/4" = 1'-0"



1 ACCESS LADDER ELEVATION
3/4" = 1'-0"



② METAL CHASE PLAN
1 1/2" = 1'-0"

① SECTION THRU CHASE
1 1/2" = 1'-0"

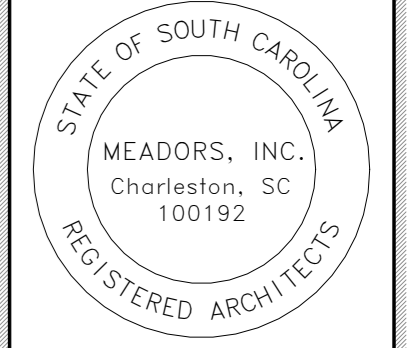
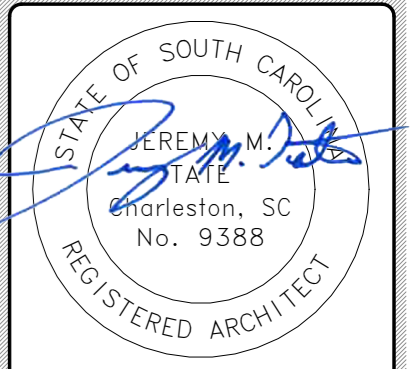
NEW 2-PLY SBS MEMBRANE ROOF SYSTEM
CONSISTING OF: 3" RIGID INSULATION,
TAPERED INSULATION WITH SLOPE 1/8" PER
FOOT, COVER BOARD, AND MECHANICALLY
ATTACHED 2-PLY SBS MEMBRANE

NEW WALL PANEL SIDING CONSISTING OF:
METAL STUD FRAMING, MINERAL WOOL
INSULATION, SHEATHING, WEATHER
BARRIER, AND WALL PANEL SYSTEM

INSTALL SPRAY FOAM
AROUND DUCTWORK,
MIN. 2 1/2"

REMOVE EXISTING GRAVEL BUILT UP ROOF
SYSTEM DOWN TO DECKING. INSTALL NEW
2-PLY SBS MEMBRANE ROOF SYSTEM
CONSISTING OF: 3" RIGID INSULATION,
TAPERED INSULATION WITH SLOPE 1/8" PER
FOOT, COVER BOARD, AND MECHANICALLY
ATTACHED 2-PLY SBS MEMBRANE

EXISTING MASONRY WALL
EXISTING 10" METAL DUCT
INSTALL SPRAY FOAM
AROUND DUCT, MIN. 2 1/2"
LIGHT GAUGE METAL FRAMING
W/ MINERAL WOOL
INSULATION BATTS - REF:
STRUCTUTAL FOR SPACING
5/8" EXTERIOR SHEATHING, TYPE X
FLUSH METAL WALL PANELS, INSTALL
VERTICAL - COLOR TO MATCH METAL
STANDING SEAM



**WELDON AUDITORIUM
RENOVATIONS**
7 Maple Street
Manning, SC 29102

PERMIT

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ISSUE DATE: 01/31/25

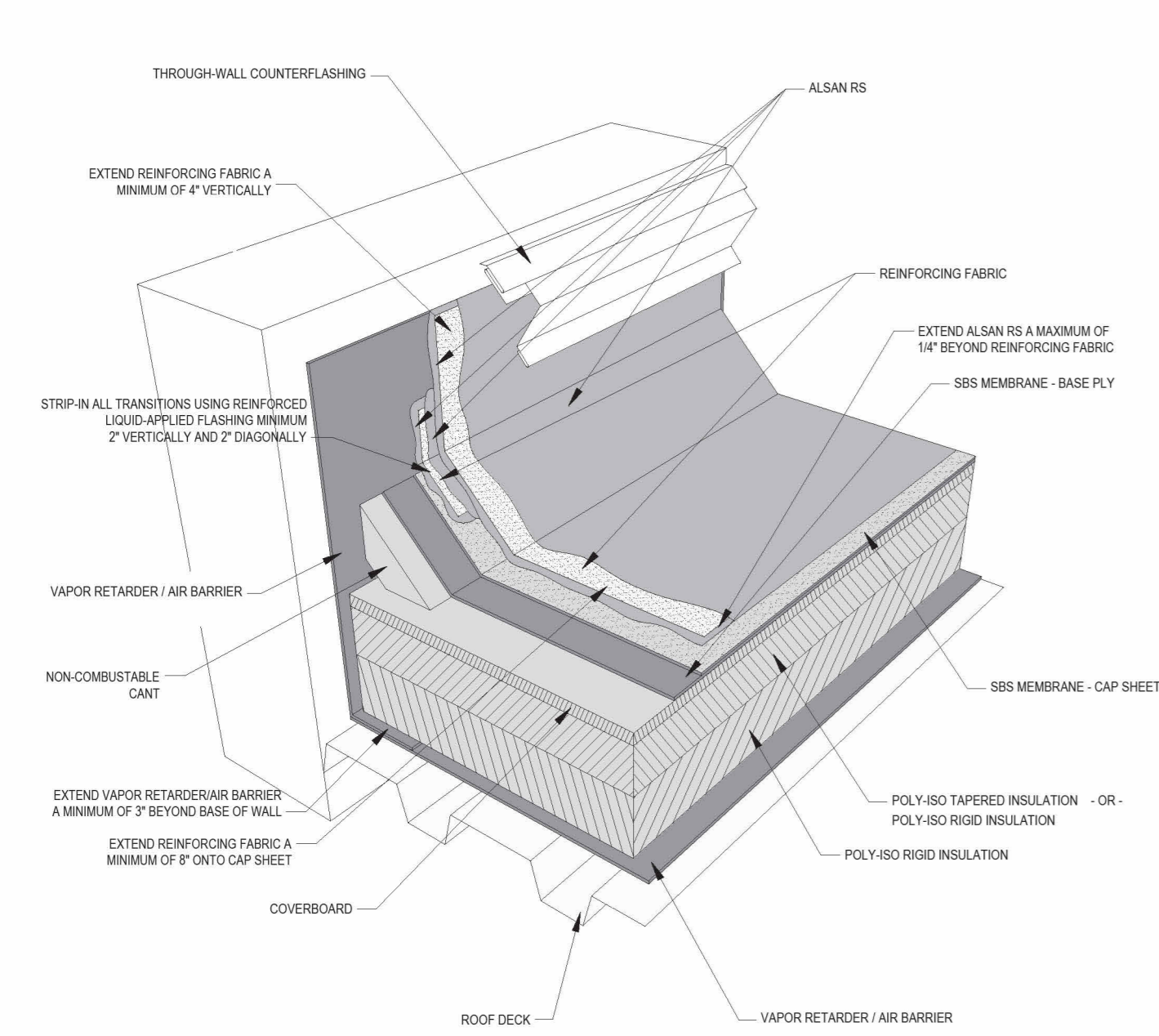
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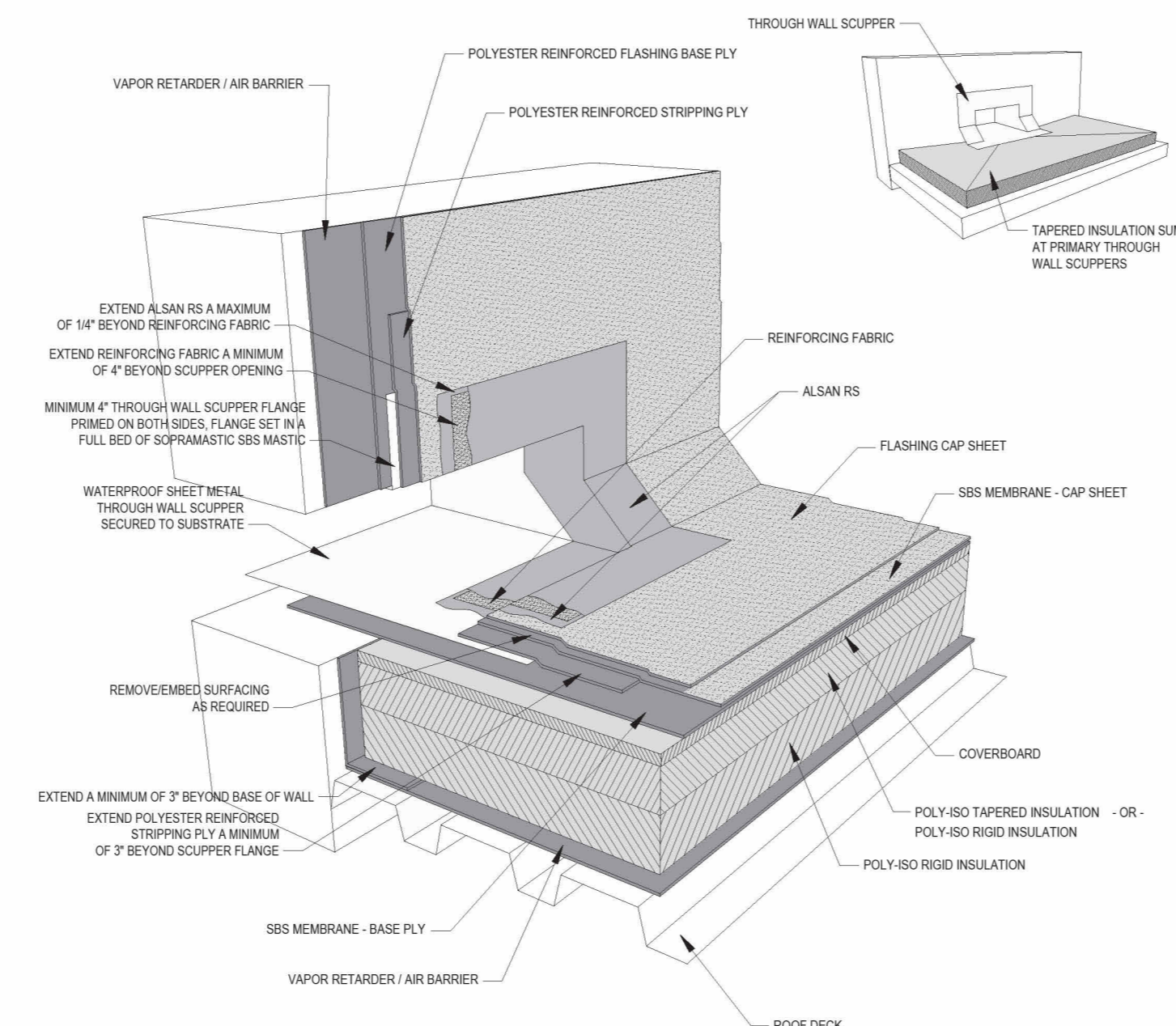
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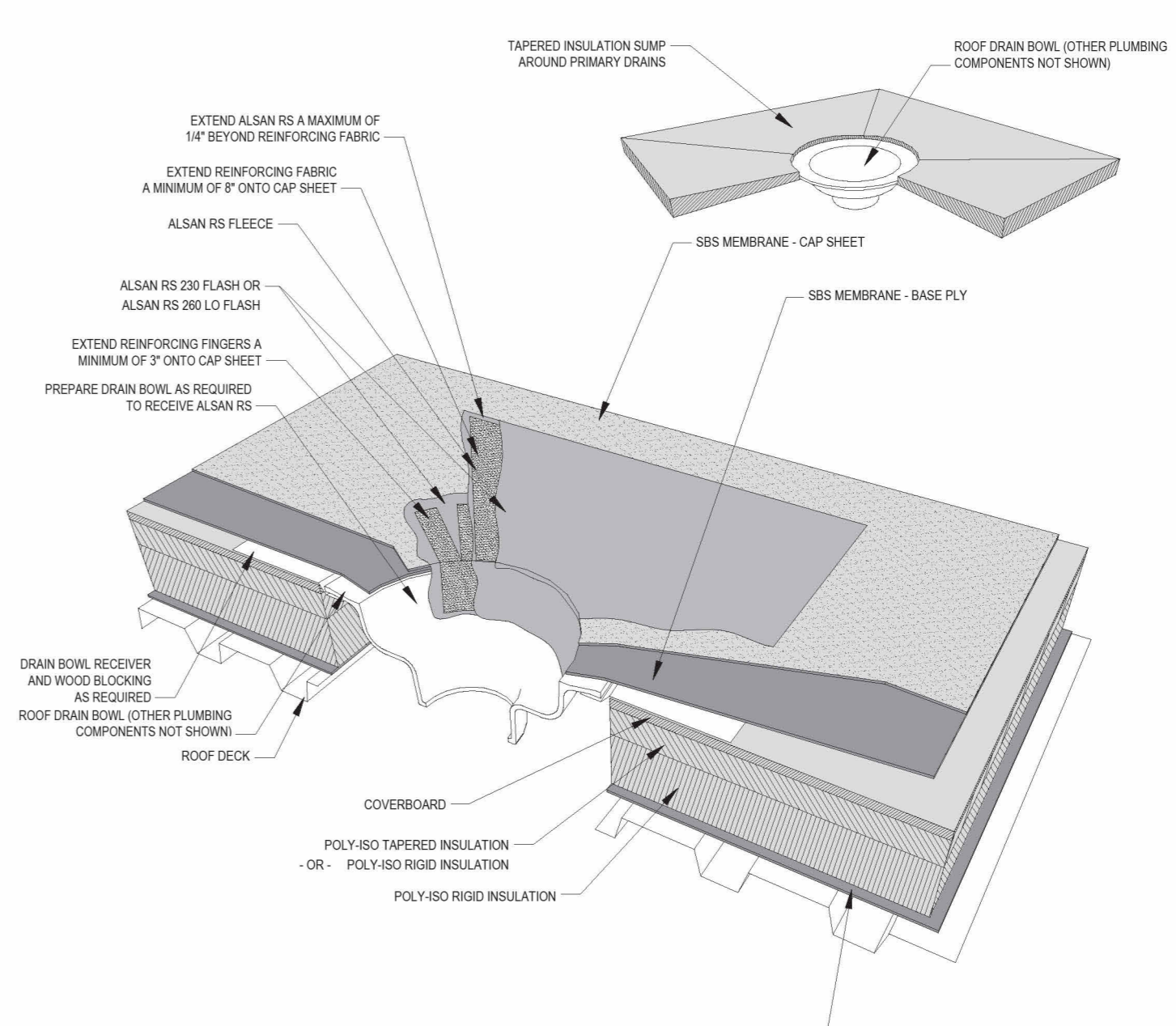
- NOTES:
1. SOPREMA DETAIL DRAWINGS: REFER TO SOPREMA AND OTHER RELATED PUBLISHED DOCUMENTATION, PRODUCT DATA SHEETS (PDS) AND SAFETY DATA SHEETS (SDS) FOR ADDITIONAL INFORMATION. ALL DETAIL DRAWINGS AND RELATED INSTALLATION GUIDELINES ARE PROVIDED BY SOPREMA FOR THE SOLE PURPOSE OF ISSUING A SOPREMA WARRANTY. ACCORDINGLY, THE DETAIL DRAWINGS ARE NOT OFFERED, AND SHOULD NOT BE CONSIDERED, AS A SUBSTITUTE FOR PROFESSIONAL DESIGN SERVICES.
 2. HOT WORK: THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING APPROPRIATE CONDITIONS TO UTILIZE HEAT-WELDING EQUIPMENT. REFER TO THE NRCA CERTA RECOMMENDATIONS, LOCAL CODES AND BUILDING OWNER'S REQUIREMENTS FOR HOT WORK OPERATIONS.
 3. PRIMER: WHERE NOT SHOWN OR INDICATED ON DETAIL DRAWINGS, REFER TO MATERIAL PRODUCT DATA SHEETS FOR PRIMER APPLICATION REQUIREMENTS.
 4. FOR RP TRANSITIONS, FLASHING PILES MUST MEET THE FOLLOWING REQUIREMENTS: HEAT WELDED OR SELF-ADHERED POLYESTER REINFORCED FLASHING BASE PLY AND FULLY REINFORCED LIQUID APPLIED FLASHING CAP SHEET.
 5. SOPREMA RECOMMENDS 8 INCH VERTICAL FLASHING HEIGHTS. FLASHING DETAILS SHOWN INCLUDE MINIMUM DIMENSIONS TO MEET WARRANTY REQUIREMENTS. CONTACT SOPREMA FOR ADDITIONAL REQUIREMENTS.
 6. DO NOT APPLY ALSAN RS LIQUID APPLIED SYSTEMS DIRECTLY OVER SBS MODIFIED BITUMEN MATERIALS ADHERED USING SOLVENT-BASED COLPLY ADHESIVES OR CEMENTS.

⑥ 2-PLY SBS MEMBRANE LIQUID FLASHING WITH COUNTERFLASHING
N.T.S.



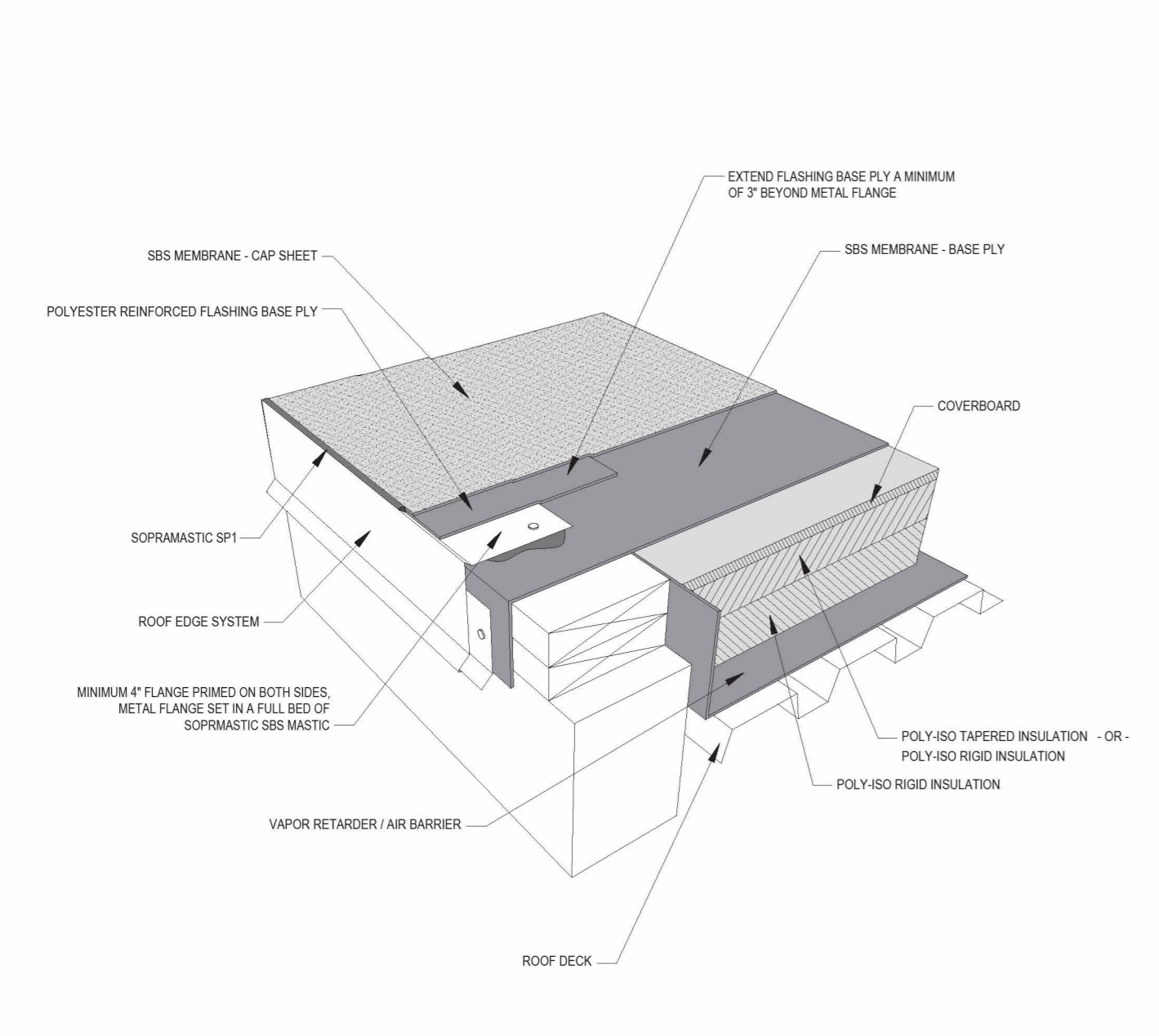
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 3. PRIMER: WHERE NOT SHOWN OR INDICATED ON DETAIL DRAWINGS, REFER TO MATERIAL PRODUCT DATA SHEETS FOR PRIMER APPLICATION REQUIREMENTS.
 4. FLASHING PILES MUST EXTEND VERTICALLY A MINIMUM OF 8\"/>
 - 5. FOR RP TRANSITIONS, FLASHING PILES MUST MEET THE FOLLOWING REQUIREMENTS: HEAT WELDED POLYESTER REINFORCED FLASHING BASE PLYS. HEAT WELDED POLYESTER REINFORCED GRANULE FLASHING CAP SHEET, OR HEAT WELDED POLYURETHANE FLASHING CAP SHEET.
 - 6. DO NOT APPLY ALSAN RS LIQUID APPLIED SYSTEMS OVER SBS MODIFIED BITUMEN MATERIALS ADHERED USING COLPLY OR COLPLY MODIFIED ADHESIVES OR CEMENTS.

⑤ 2-PLY SBS MEMBRANE THROUGH WALL SCUPPER
N.T.S.



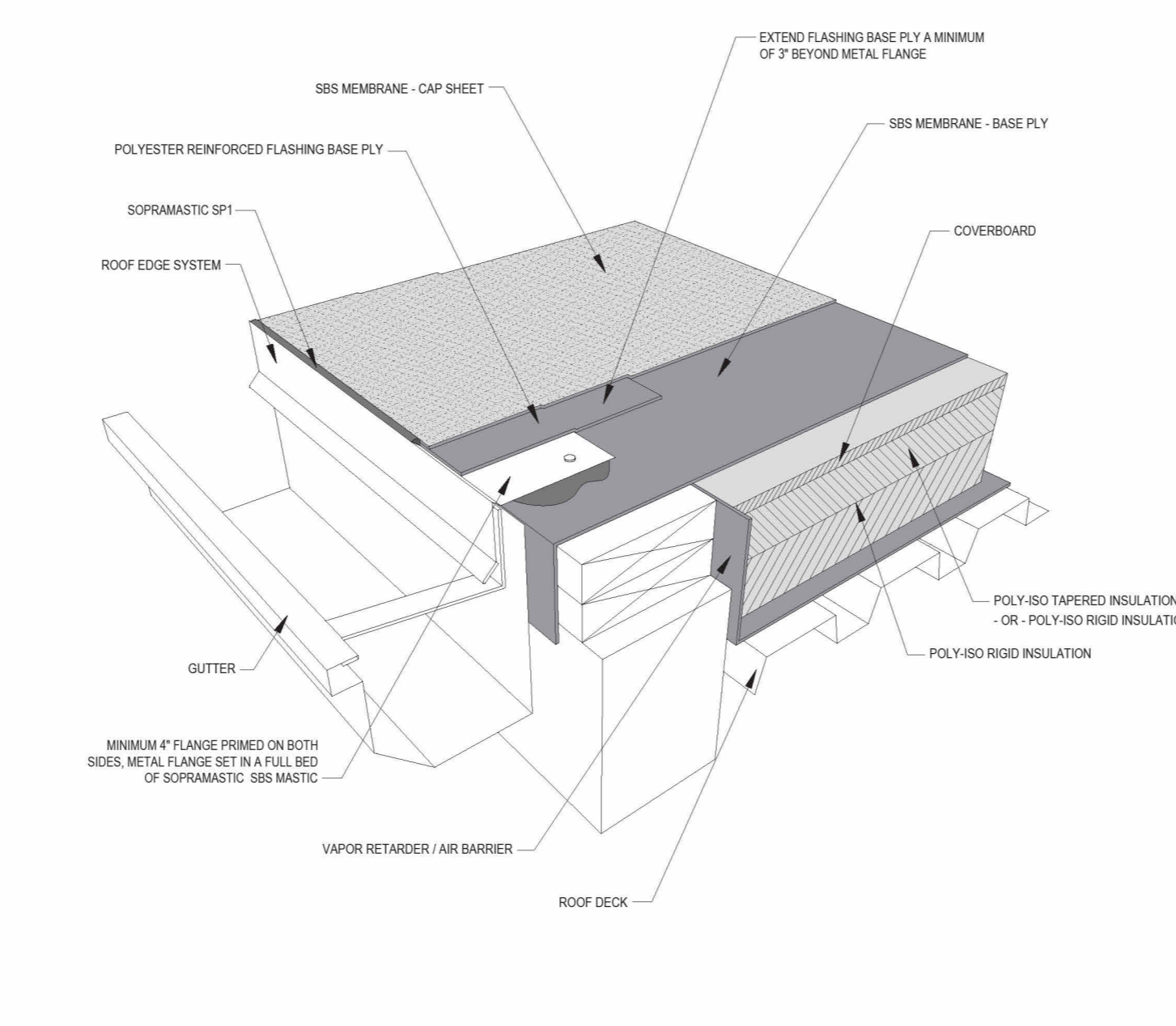
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④ 2-PLY SBS MEMBRANE ROOF DRAIN
N.T.S.



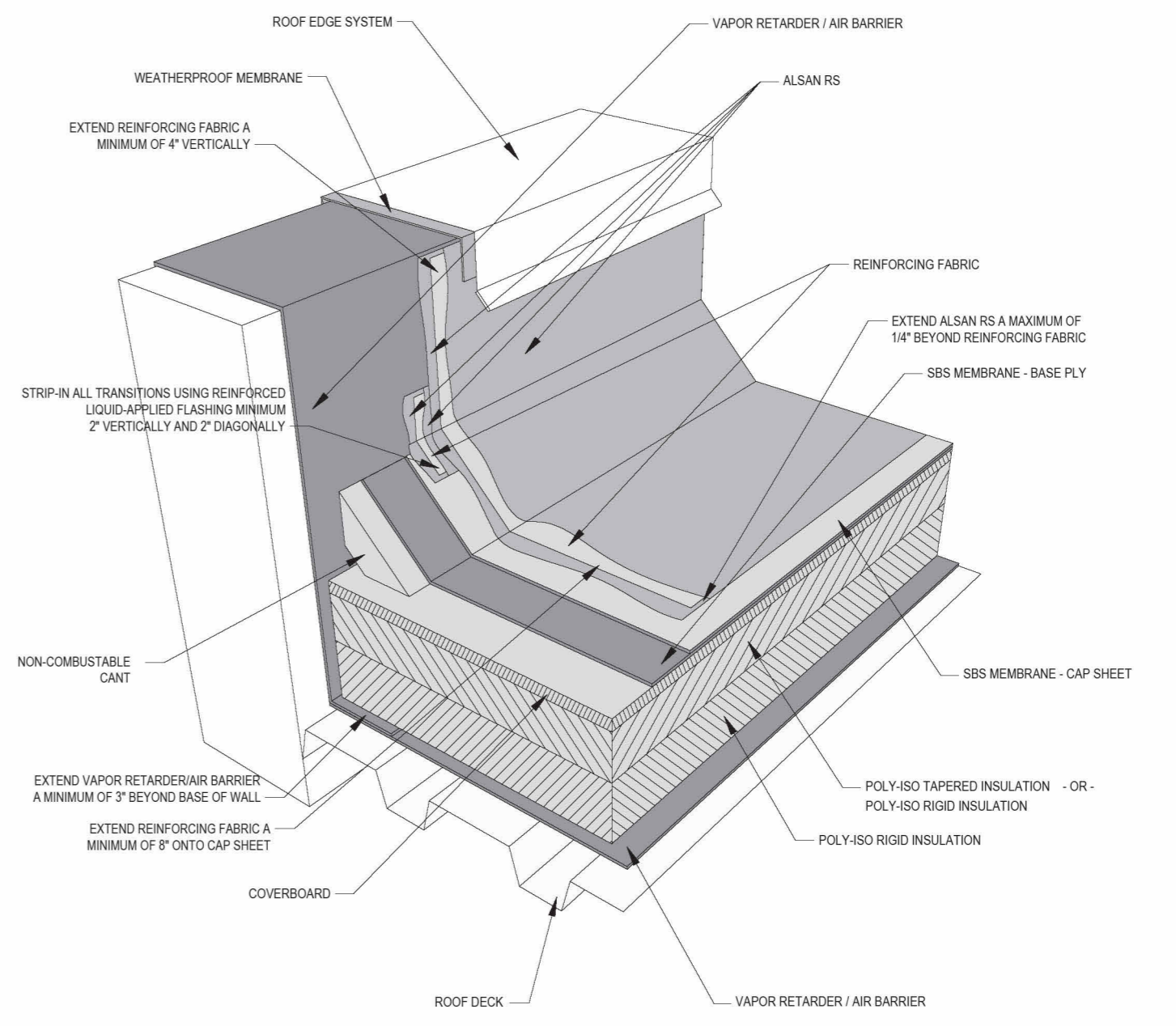
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 3. PRIMER: WHERE NOT SHOWN OR INDICATED ON DETAIL DRAWINGS, REFER TO MATERIAL PRODUCT DATA SHEETS FOR PRIMER APPLICATION REQUIREMENTS.

③ 2-PLY SBS MEMBRANE DRIP EDGE
N.T.S.



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② 2-PLY SBS MEMBRANE GUTTER EDGE
N.T.S.



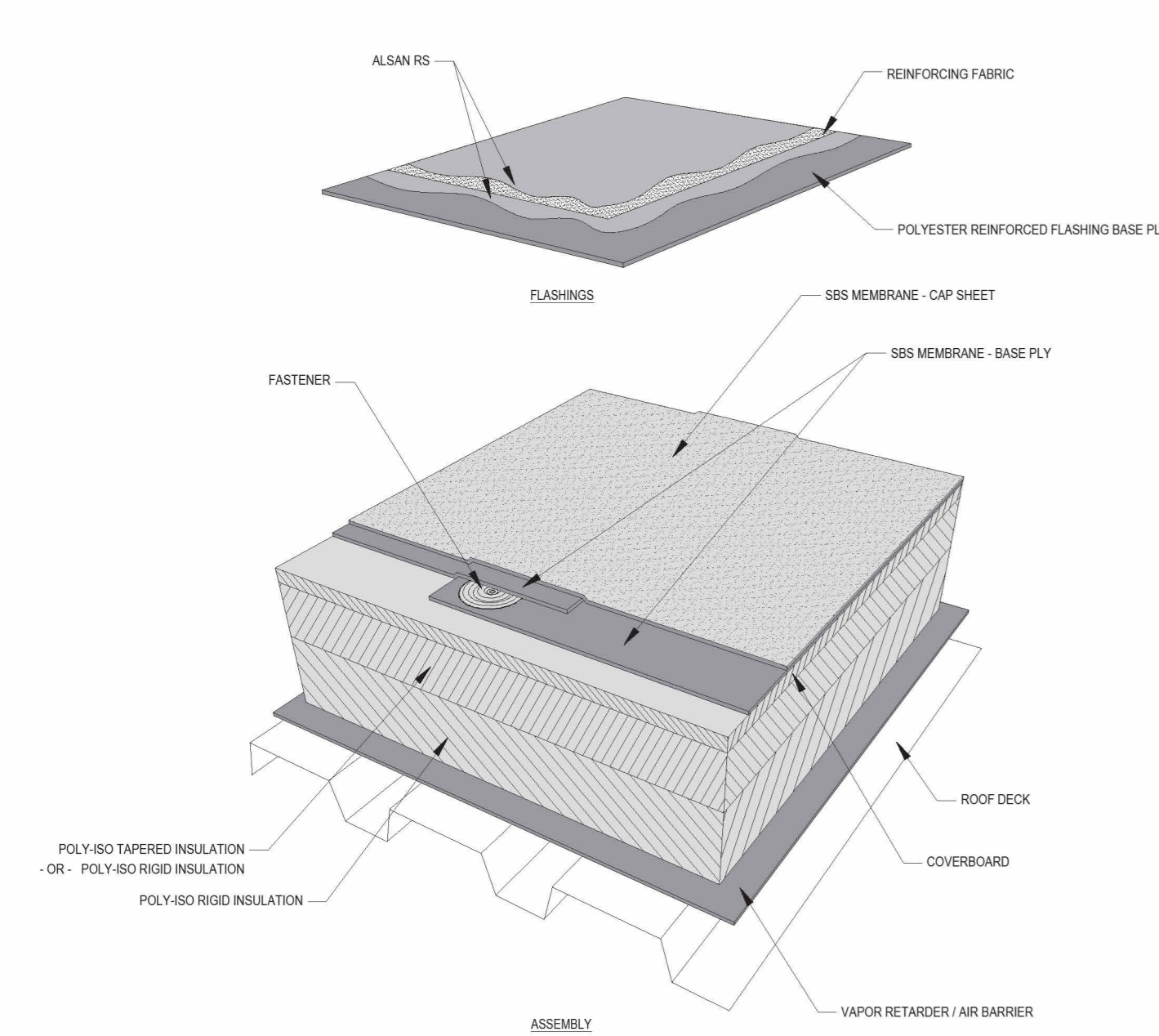
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 6. DO NOT APPLY ALSAN RS LIQUID APPLIED SYSTEMS DIRECTLY OVER SBS MODIFIED BITUMEN MATERIALS ADHERED USING SOLVENT-BASED COLPLY ADHESIVES OR CEMENTS.

① 2-PLY SBS MEMBRANE PARAPET WALL WITH LIQUID FLASHING
N.T.S.

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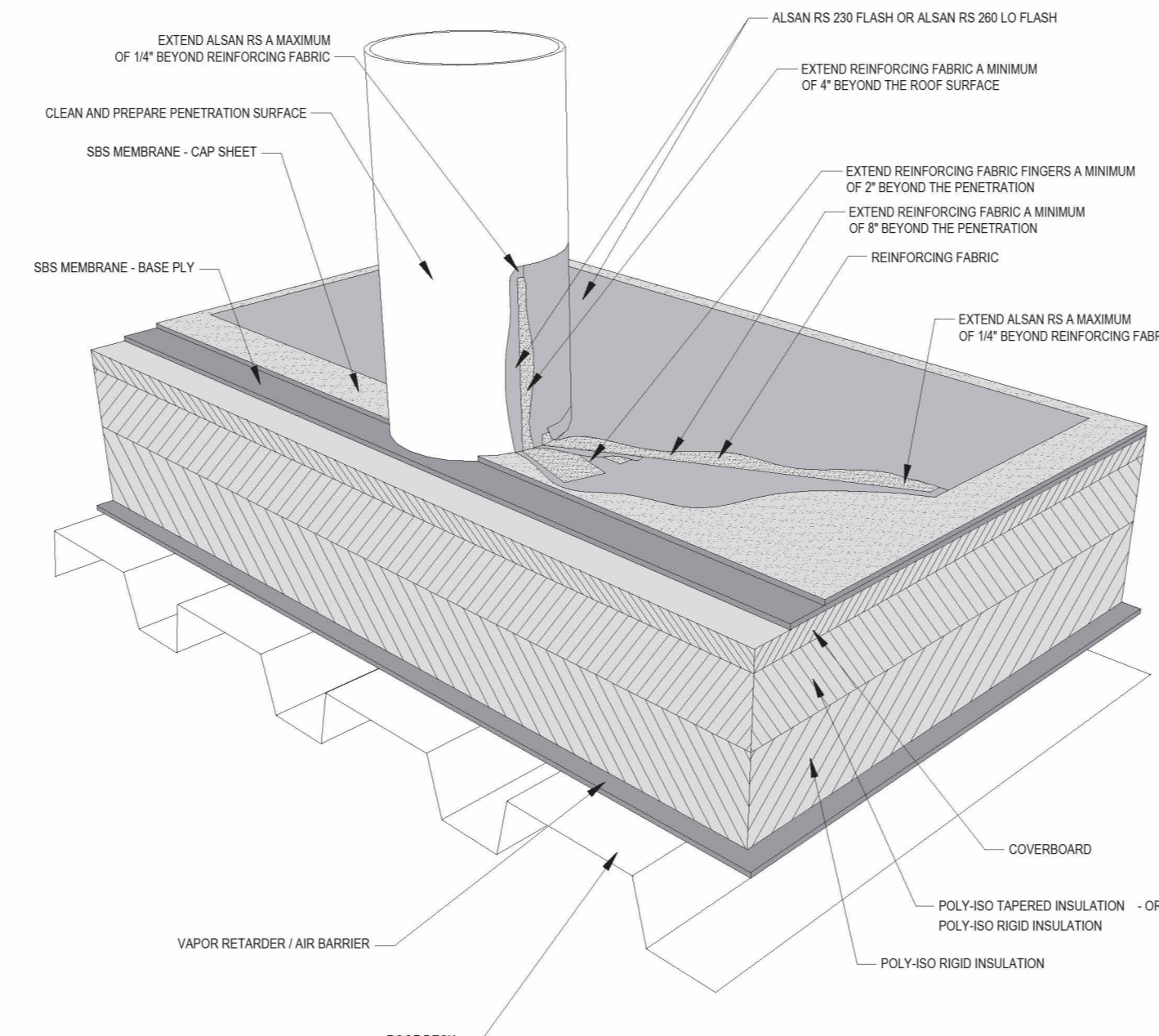
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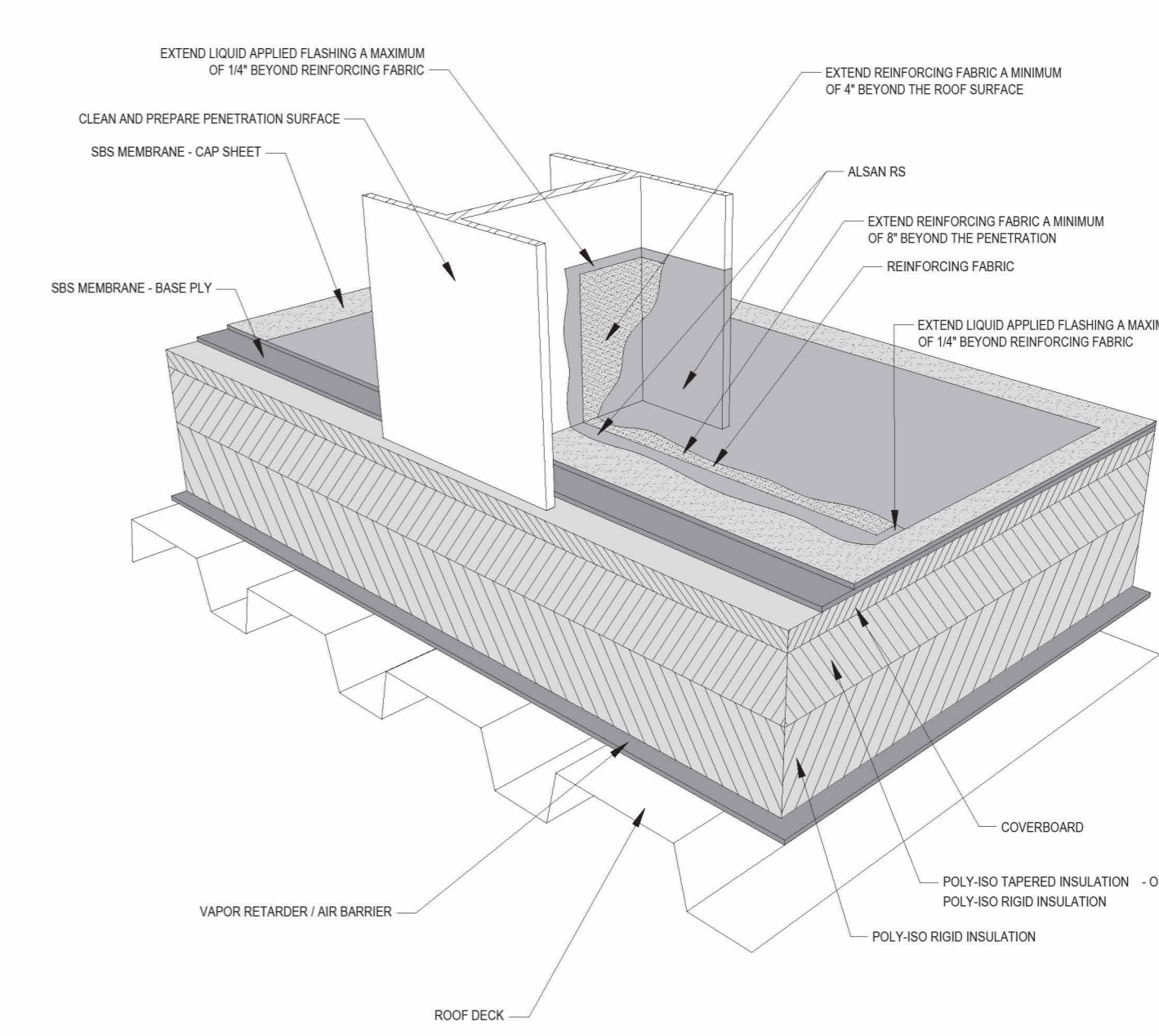
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 3. PRIMER: WHERE NOT SHOWN OR INDICATED ON DETAIL DRAWINGS, REFER TO MATERIAL PRODUCT DATA SHEETS FOR PRIMER APPLICATION REQUIREMENTS.

⑥ 2-PLY SBS MEMBRANE ROOF ASSEMBLY WITH LIQUID FLASHING
N.T.S.



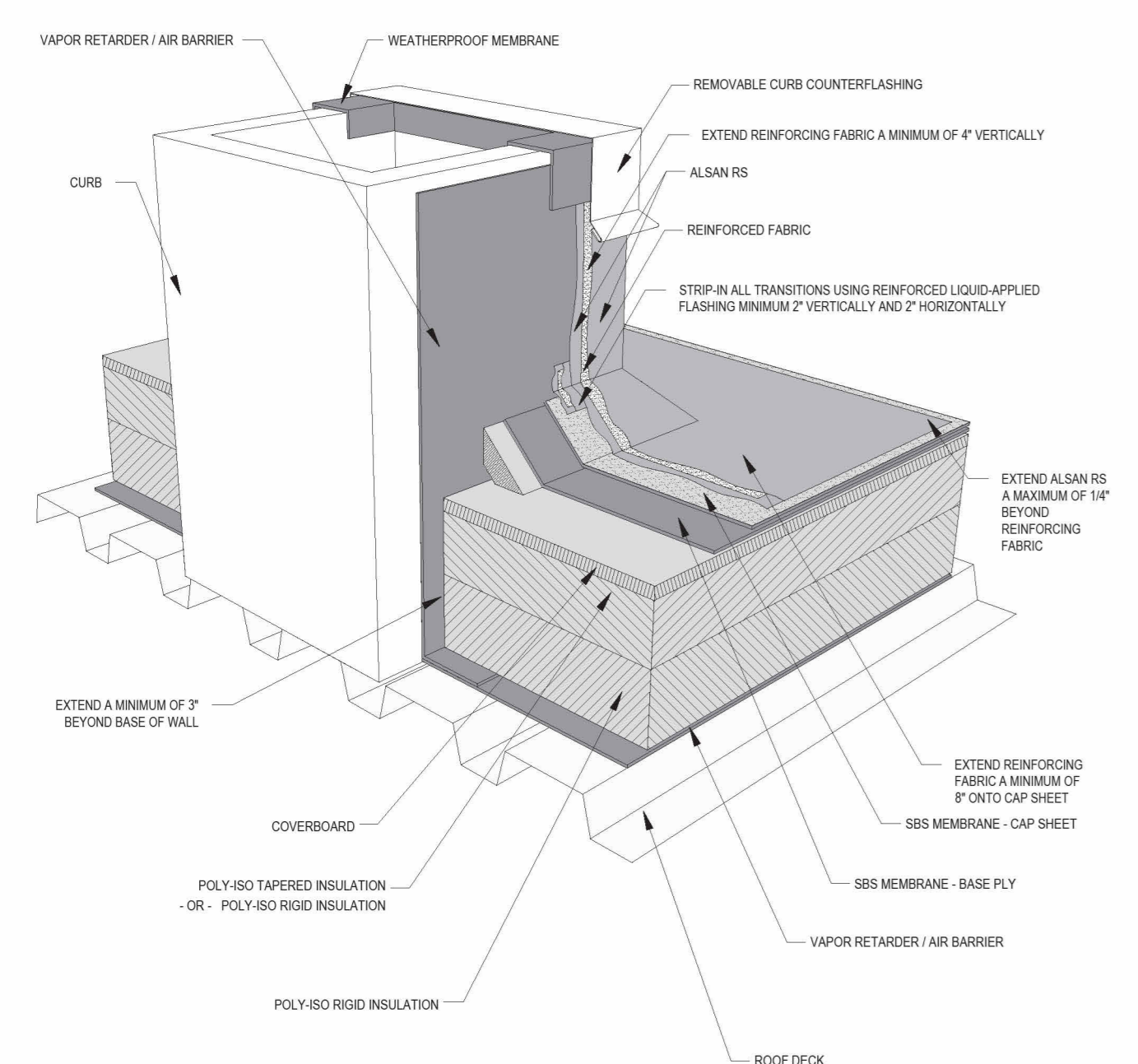
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 5. DO NOT APPLY ALSAN RS LIQUID APPLIED SYSTEMS DIRECTLY OVER SBS MODIFIED BITUMEN MATERIALS ADHERED USING SOLVENT-BASED COLPLY ADHESIVES OR CEMENTS.

⑤ 2-PLY SBS MEMBRANE PIPE PENETRATION WITH LIQUID FLASHING
N.T.S.



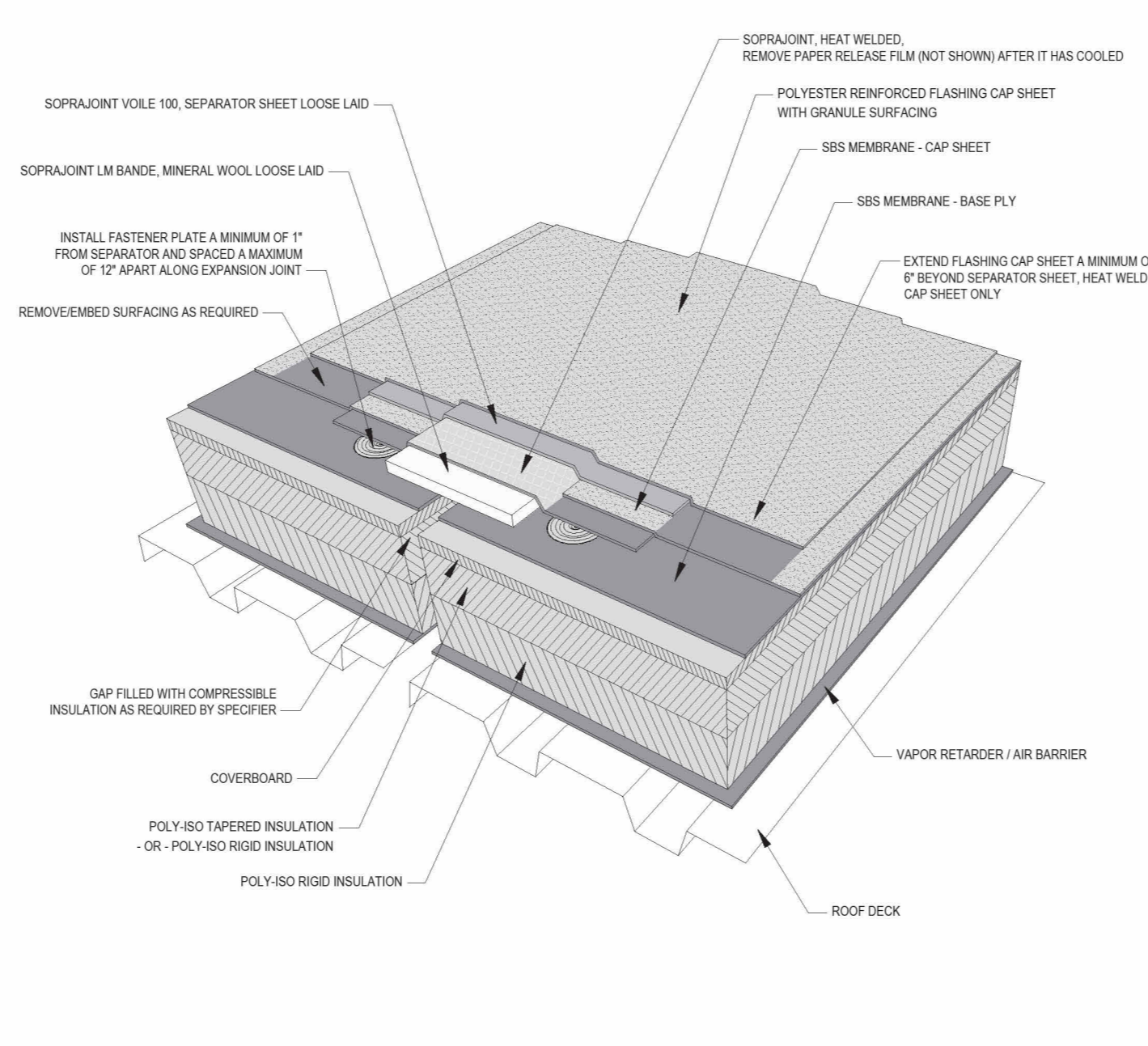
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 3. PRIMER: WHERE NOT SHOWN OR INDICATED ON DETAIL DRAWINGS, REFER TO MATERIAL PRODUCT DATA SHEETS FOR PRIMER APPLICATION REQUIREMENTS.
 4. SOPREMA RECOMMENDS 8 INCH VERTICAL FLASHING HEIGHTS. FLASHING DETAILS SHOWN INCLUDE MINIMUM DIMENSIONS TO MEET WARRANTY REQUIREMENTS. CONTACT SOPREMA FOR ADDITIONAL REQUIREMENTS.
 5. DO NOT APPLY ALSAN RS LIQUID APPLIED SYSTEMS DIRECTLY OVER SBS MODIFIED BITUMEN MATERIALS ADHERED USING SOLVENT-BASED COLPLY ADHESIVES OR CEMENTS.

④ 2-PLY SBS MEMBRANE PENETRATION WITH LIQUID FLASHING
N.T.S.



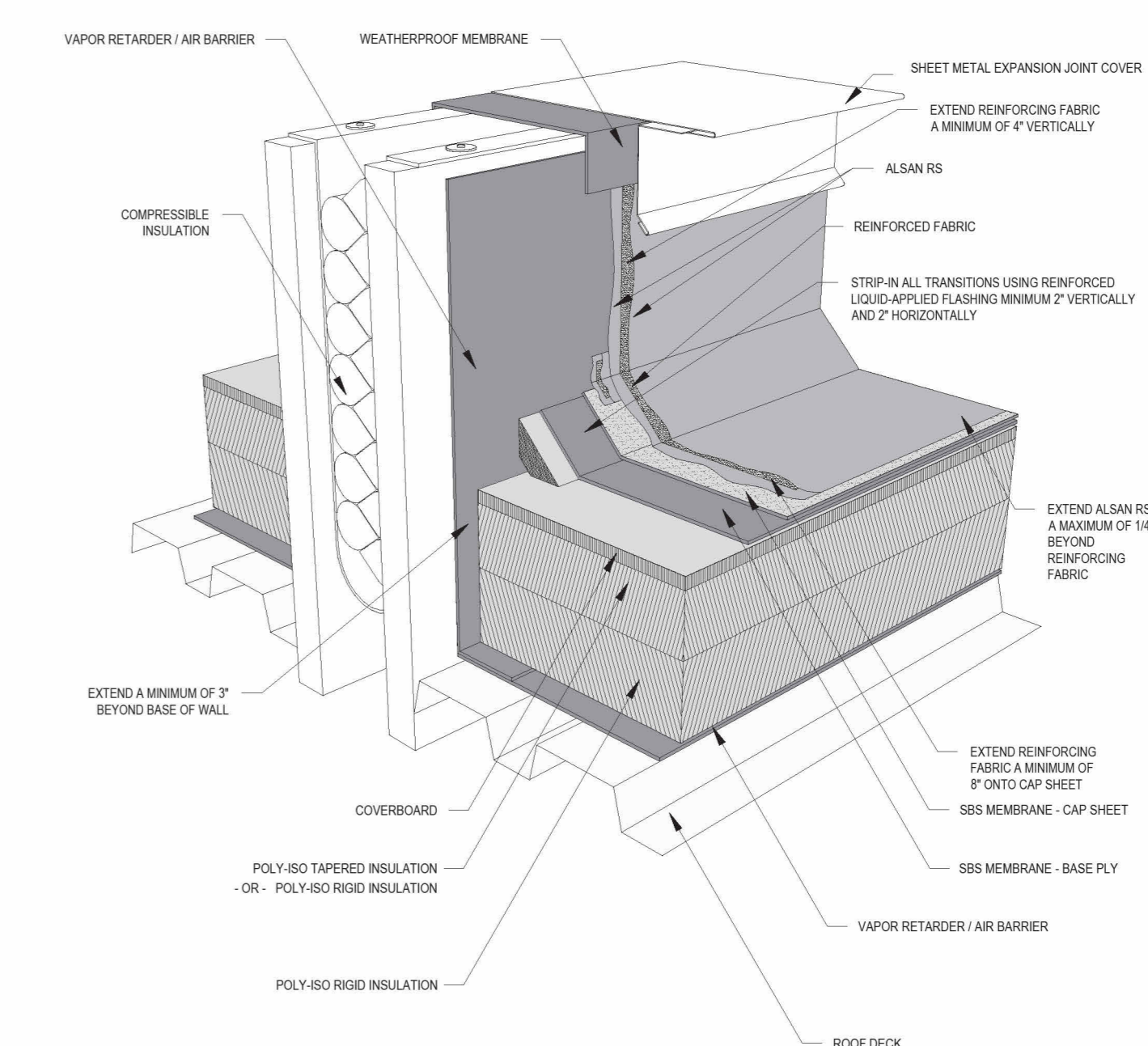
- NOTES:
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 2. HOT WORK: THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING APPROPRIATE CONDITIONS TO UTILIZE HEAT-WELDING EQUIPMENT. REFER TO THE NRCA CERTA RECOMMENDATIONS, LOCAL CODES AND BUILDING OWNER'S REQUIREMENTS FOR HOT WORK OPERATIONS.
 3. PRIMER: WHERE NOT SHOWN OR INDICATED ON DETAIL DRAWINGS, REFER TO MATERIAL PRODUCT DATA SHEETS FOR PRIMER APPLICATION REQUIREMENTS.
 4. FOR 90° TRANSITIONS, FLASHING PILES MUST MEET THE FOLLOWING REQUIREMENTS: HEAT WELDED OR SELF-ADHERED POLYESTER REINFORCED FLASHING BASE PLY AND FULLY REINFORCED LIQUID APPLIED FLASHING CAP SHEET.
 5. SOPREMA RECOMMENDS 8 INCH VERTICAL FLASHING HEIGHTS. FLASHING DETAILS SHOWN INCLUDE MINIMUM DIMENSIONS TO MEET WARRANTY REQUIREMENTS. CONTACT SOPREMA FOR ADDITIONAL REQUIREMENTS.
 6. DO NOT APPLY ALSAN RS LIQUID APPLIED SYSTEMS DIRECTLY OVER SBS MODIFIED BITUMEN MATERIALS ADHERED USING COLPLY ADHESIVES OR CEMENTS.

③ 2-PLY SBS MEMBRANE CURB WITH REMOVABLE COUNTERFLASHING
N.T.S.



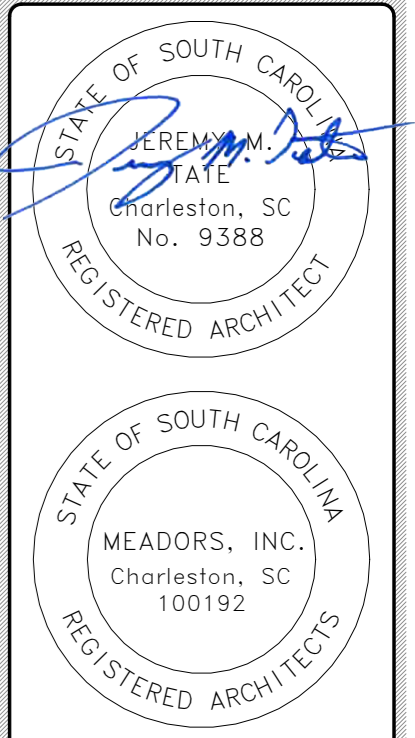
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 3. PRIMER: WHERE NOT SHOWN OR INDICATED ON DETAIL DRAWINGS, REFER TO MATERIAL PRODUCT DATA SHEETS FOR PRIMER APPLICATION REQUIREMENTS.
 4. SOPRAJOINT CAN ACCOMMODATE A MAXIMUM GAP OF 2 INCHES AND A MAXIMUM 3/4 INCHES OF MOVEMENT.

② 2-PLY SBS MEMBRANE LOW PROFILE EXPANSION JOINT
N.T.S.



- NOTES:
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 5. SOPREMA RECOMMENDS 8 INCH VERTICAL FLASHING HEIGHTS. FLASHING DETAILS SHOWN INCLUDE MINIMUM DIMENSIONS TO MEET WARRANTY REQUIREMENTS. CONTACT SOPREMA FOR ADDITIONAL REQUIREMENTS.
 6. DO NOT APPLY ALSAN RS LIQUID APPLIED SYSTEMS DIRECTLY OVER SBS MODIFIED BITUMEN MATERIALS ADHERED USING COLPLY ADHESIVES OR CEMENTS.

① 2-PLY SBS MEMBRANE FIELD EXPANSION JOINT
N.T.S.

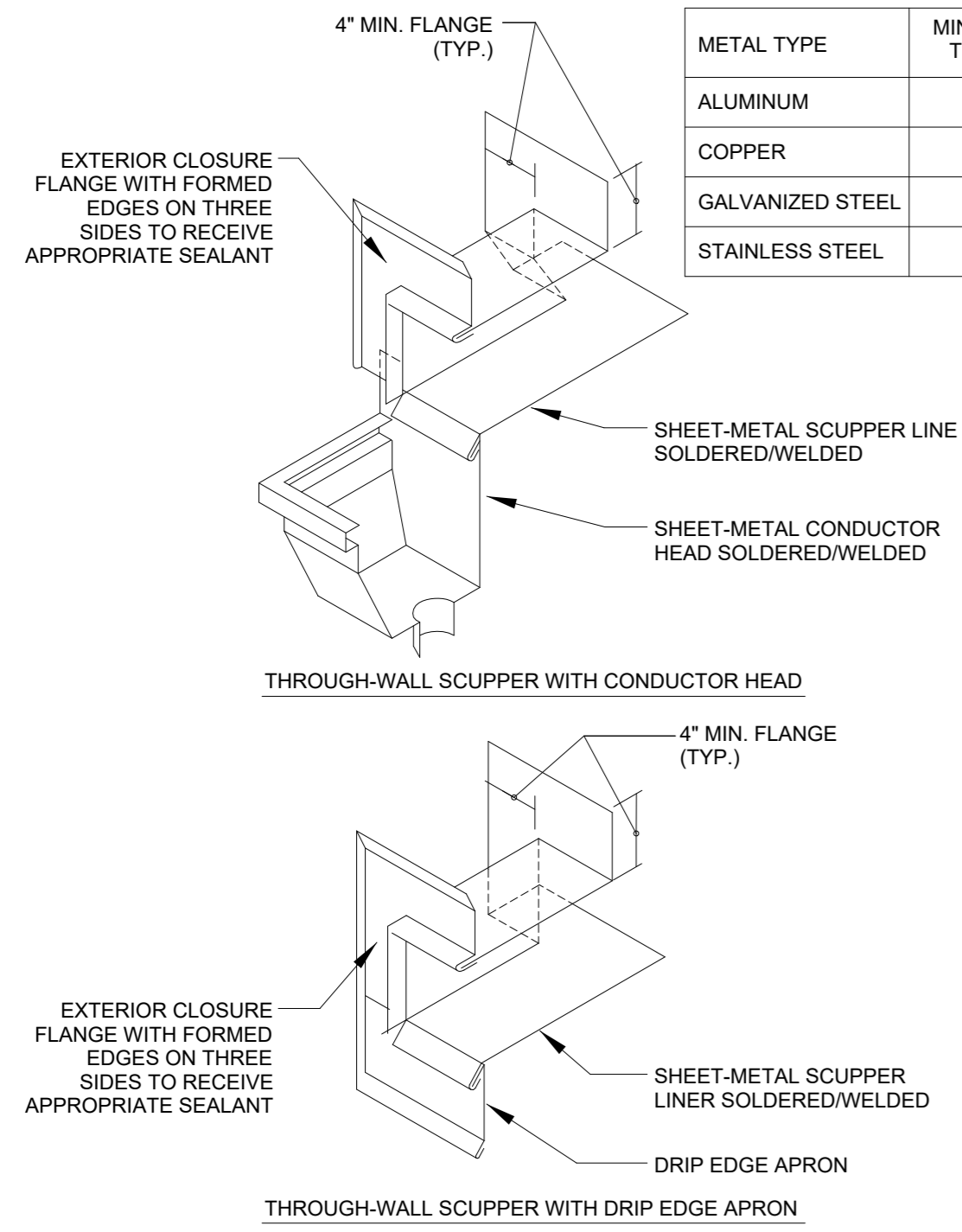


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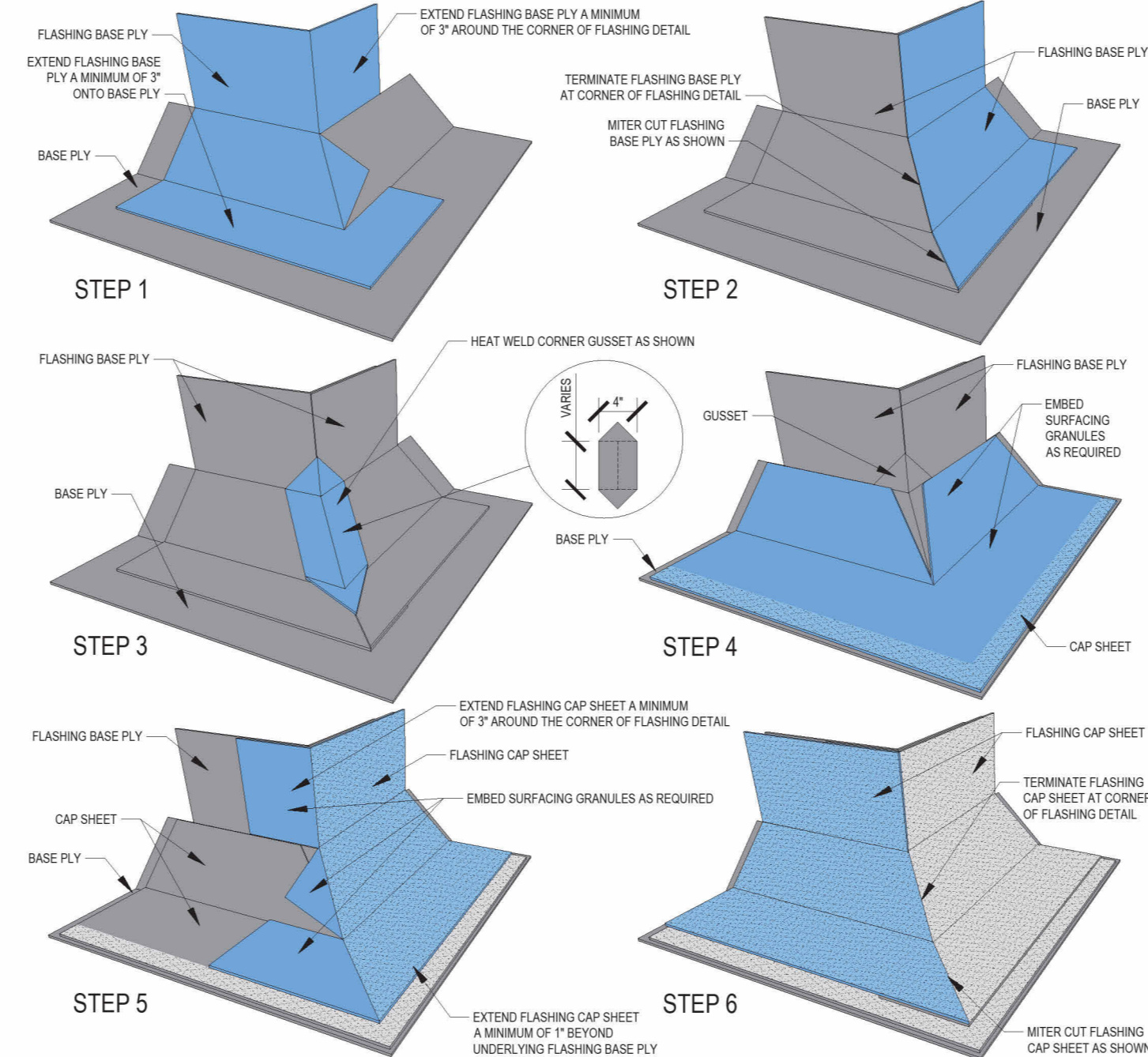
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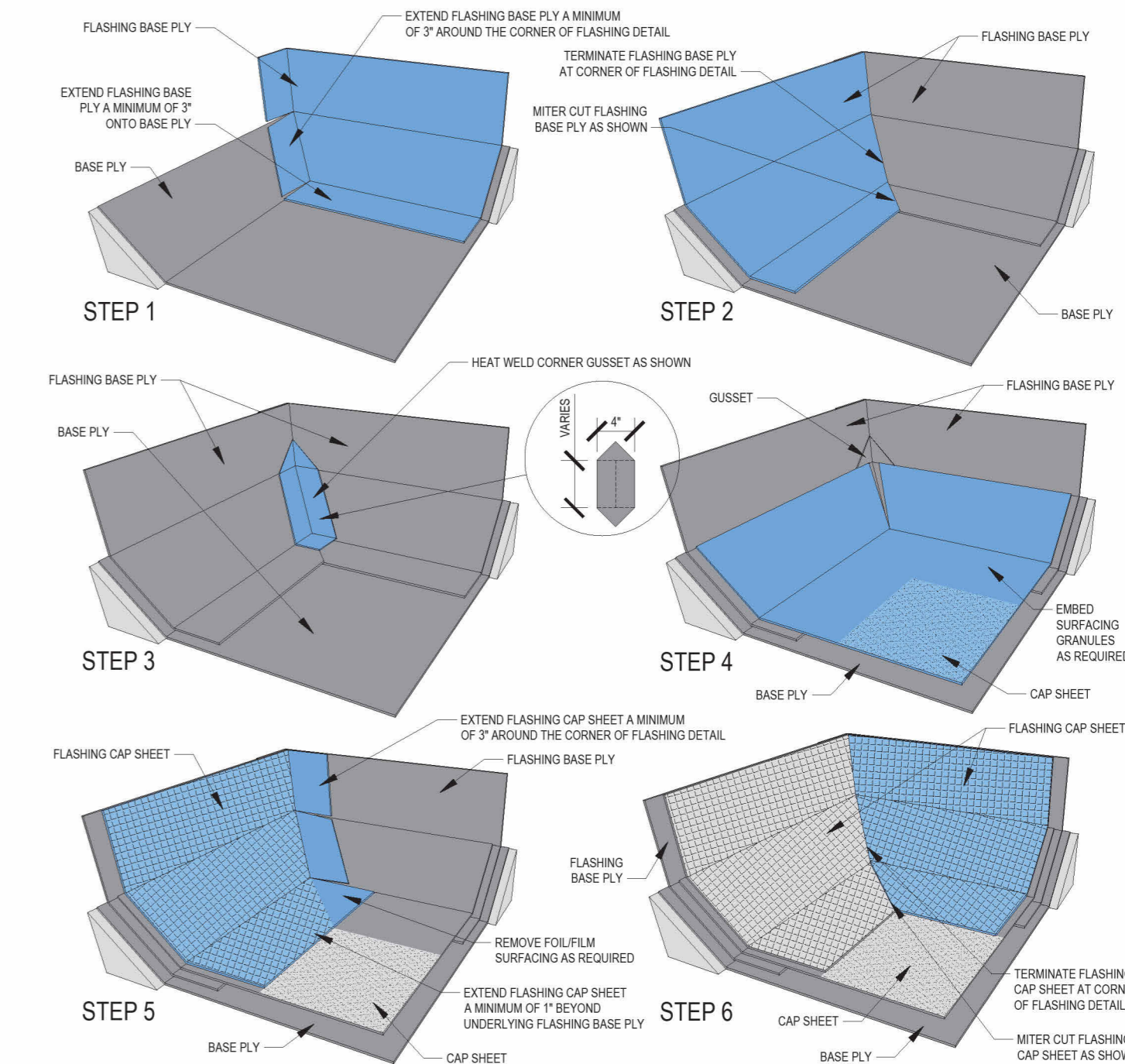
METAL TYPE	MIN. MATERIAL THICKNESS
ALUMINUM	.032 in.
COPPER	16 oz
GALVANIZED STEEL	26 ga.
STAINLESS STEEL	26 ga.



- NOTES:
1. THIS DETAIL SHOULD BE USED ONLY WHEN THE ROOF DECK IS SUPPORTED BY THE WALL.
 2. CONDUCTOR HEAD TO BE 1 INCH MINIMUM BELOW BOTTOM OF THROUGH-WALL SCUPPER.
 3. REFER TO SECTION 4.1 - INFORMATION APPLICABLE TO ALL CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.



- NOTES:
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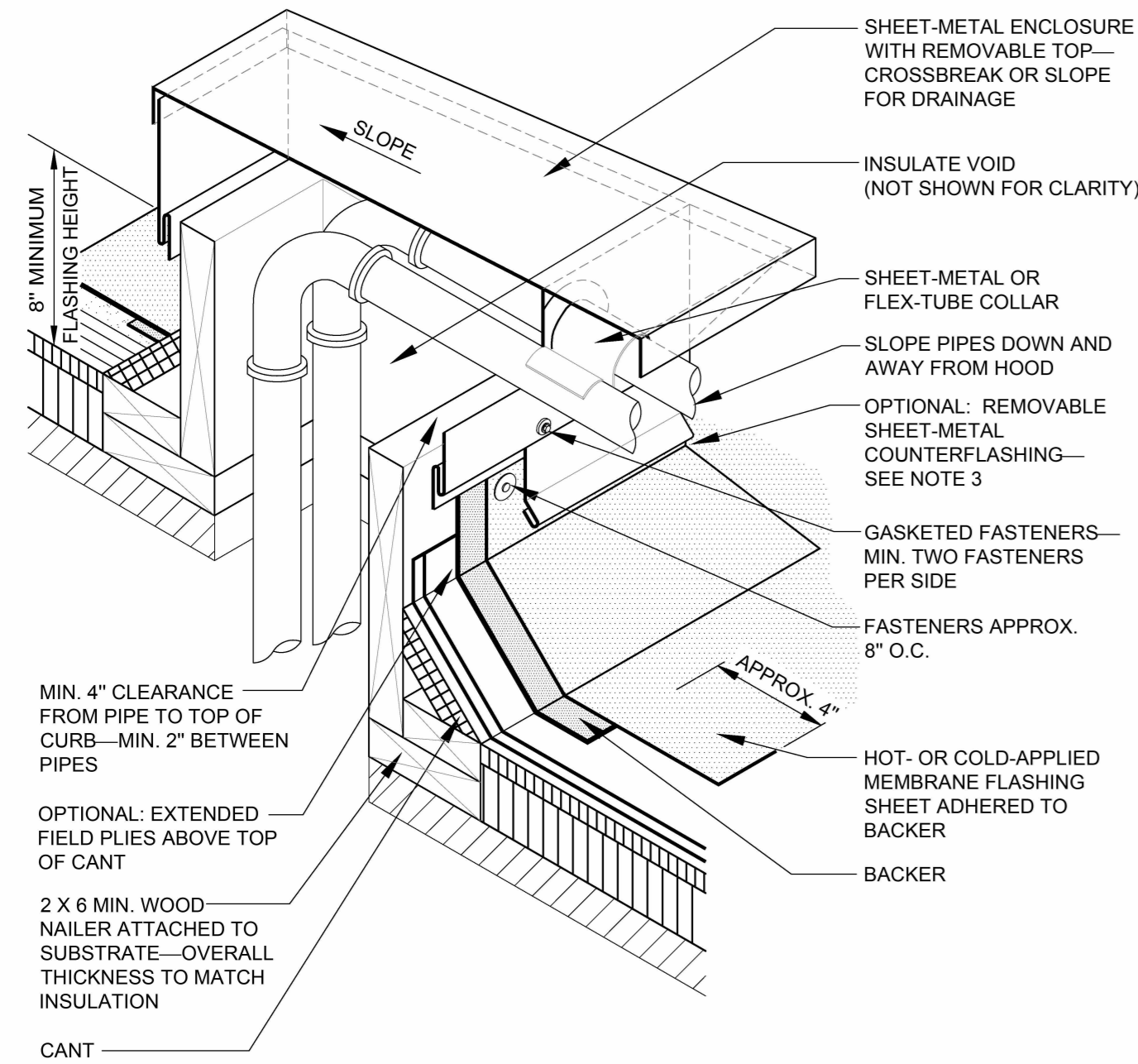


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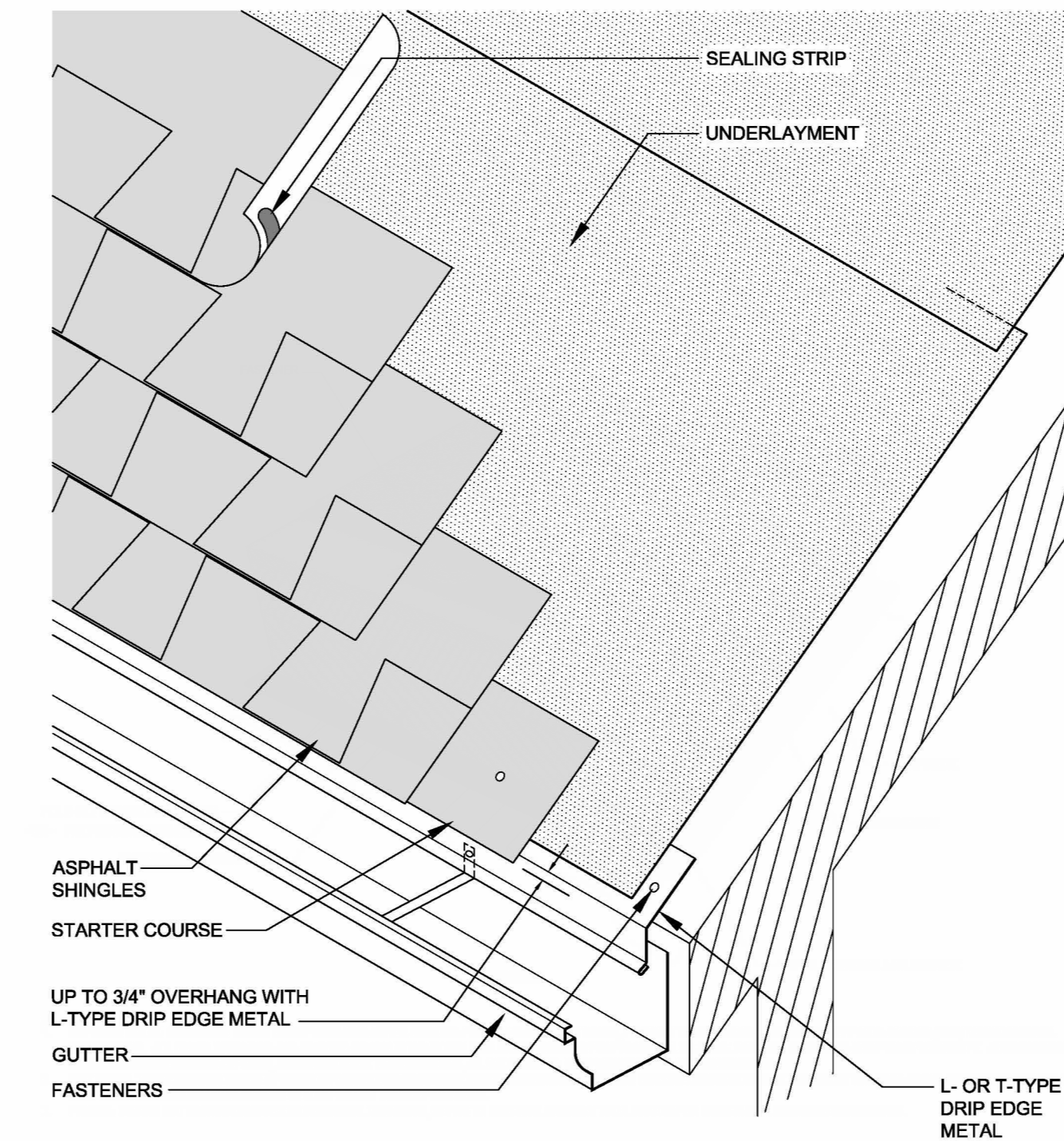
6 THROUGH WALL SCUPPER
N.T.S.

5 2-PLY SBS MEMBRANE OUTSIDE CORNERS
N.T.S.

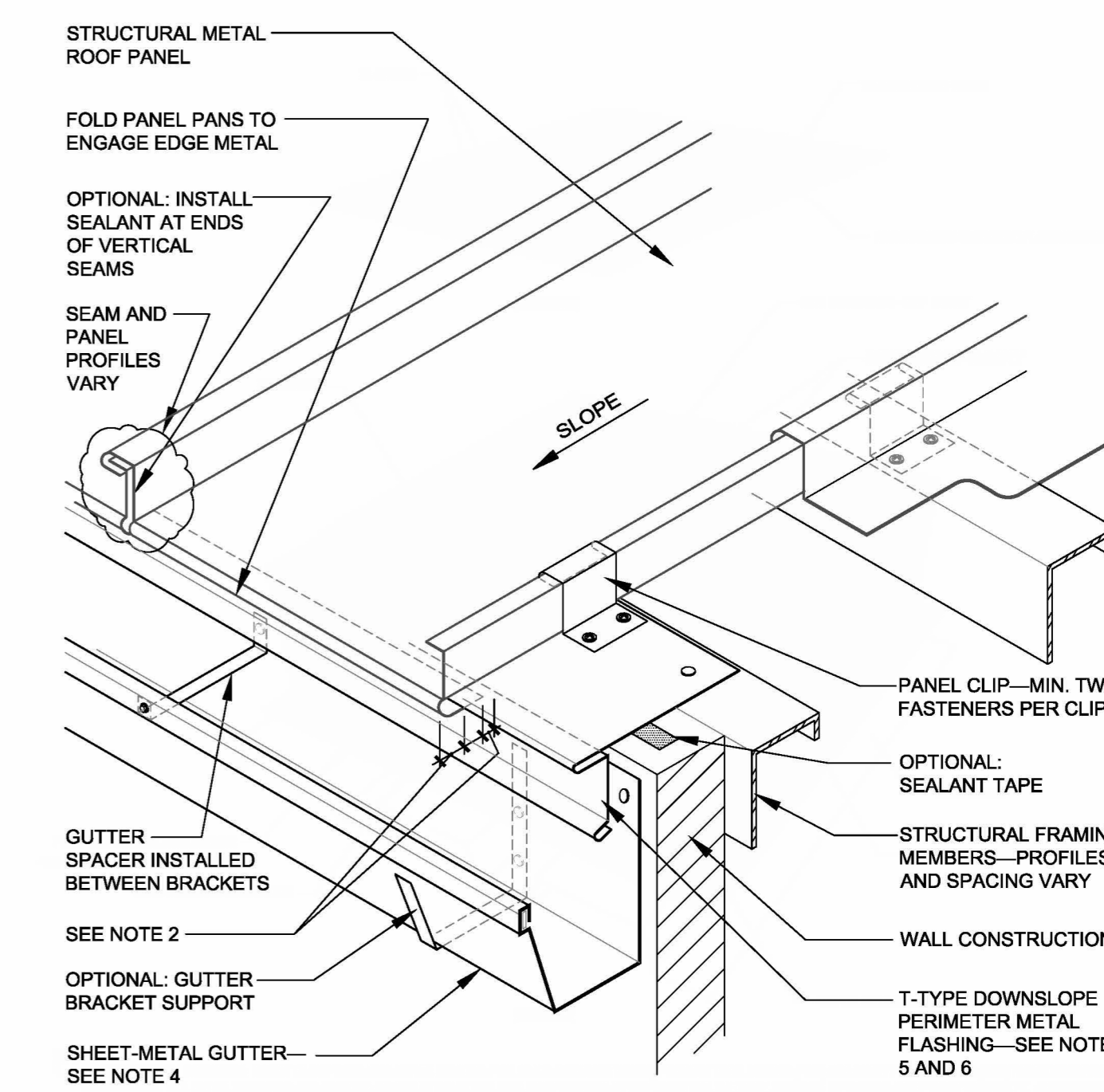
4 2-PLY SBS MEMBRANE INSIDE CORNERS
N.T.S.



- NOTES:
1. THIS DETAIL ILLUSTRATES ANOTHER METHOD OF ELIMINATING PITCH POCKETS AND AN OPTIONAL METHOD OF GROUPING PIPING THAT MUST PENETRATE THE ROOF.
 2. MANY MANUFACTURERS OFFER PREFABRICATED BOOTS AND OTHER MATERIALS FOR THIS PURPOSE. SPECIFICS ON THESE PROPRIETARY DESIGNS VARY GREATLY, AND INDIVIDUAL MANUFACTURERS' SPECIFICATIONS SHOULD BE CONSULTED FOR THEIR USE.
 3. WHERE THE SHEET-METAL ENCLOSURE OVERLAPS THE BASE FLASHING AT LEAST 3 INCHES, THE REMOVABLE SHEET-METAL COUNTERFLASHING IS NOT REQUIRED.
 4. FOR ROOF SYSTEMS WITH FACTORY-APPLIED GRANULE SURFACING, PROPERLY PREPARE CAP SHEET TO RECEIVE FLASHING.
 5. REFER TO THE INTRODUCTION OF THE CONSTRUCTION DETAILS CHAPTER FOR ADDITIONAL INFORMATION.



- NOTES:
1. THIS DETAIL SHOWS ONE TYPE OF GUTTER SUPPORT. GUTTER SECUREMENT AND SUPPORT OPTIONS VARY.
 2. REFER TO THE INTRODUCTION OF THE CONSTRUCTION DETAILS CHAPTER FOR ADDITIONAL INFORMATION.

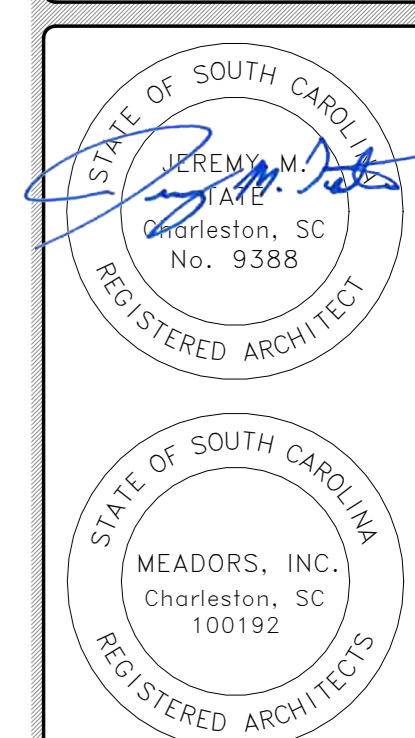


- NOTES:
1. SPECIFIC FASTENING AND STRUCTURAL REQUIREMENTS ARE NOT INDICATED AS THEY VARY FROM SYSTEM TO SYSTEM DEPENDING ON PANEL MANUFACTURER'S REQUIREMENTS, WIND ZONE, BUILDING CODE AND WALL CONSTRUCTION.
 2. DIMENSIONS SHOULD ACCOMMODATE EXPECTED MOVEMENT. REFER TO SECTION 4.12 FOR INFORMATION ABOUT THERMAL MOVEMENT CONSIDERATIONS.
 3. INSULATION, VAPOR RETARDER AND THERMAL BLOCKS FOR ROOF SYSTEM ARE NOT SHOWN FOR CLARITY.
 4. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA ROOFING MANUAL: ARCHITECTURAL METAL FLASHING, CONDENSATION AND AIR LEAKAGE CONTROL, AND REROOFING FOR MORE INFORMATION ABOUT GUTTERS.
 5. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA ROOFING MANUAL: ARCHITECTURAL METAL FLASHING, CONDENSATION AND AIR LEAKAGE CONTROL, AND REROOFING FOR PERIMETER EDGE-METAL THICKNESS AND CLEAT RECOMMENDATIONS.
 6. REFER TO THE INTRODUCTION OF THE CONSTRUCTION DETAILS CHAPTER FOR ADDITIONAL INFORMATION.

3 2-PLY SBS MEMBRANE SHEET METAL ENCLOSURE
N.T.S.

2 GUTTER DETAIL AT ASPHALT SHINGLE ROOF
N.T.S.

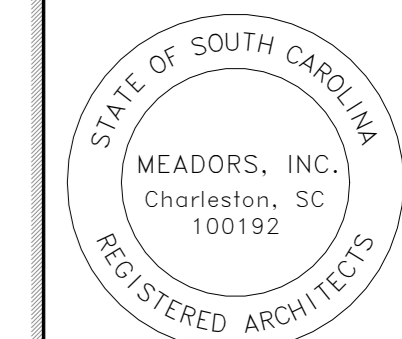
1 GUTTER DETAIL AT STANDING SEAM ROOF
N.T.S.



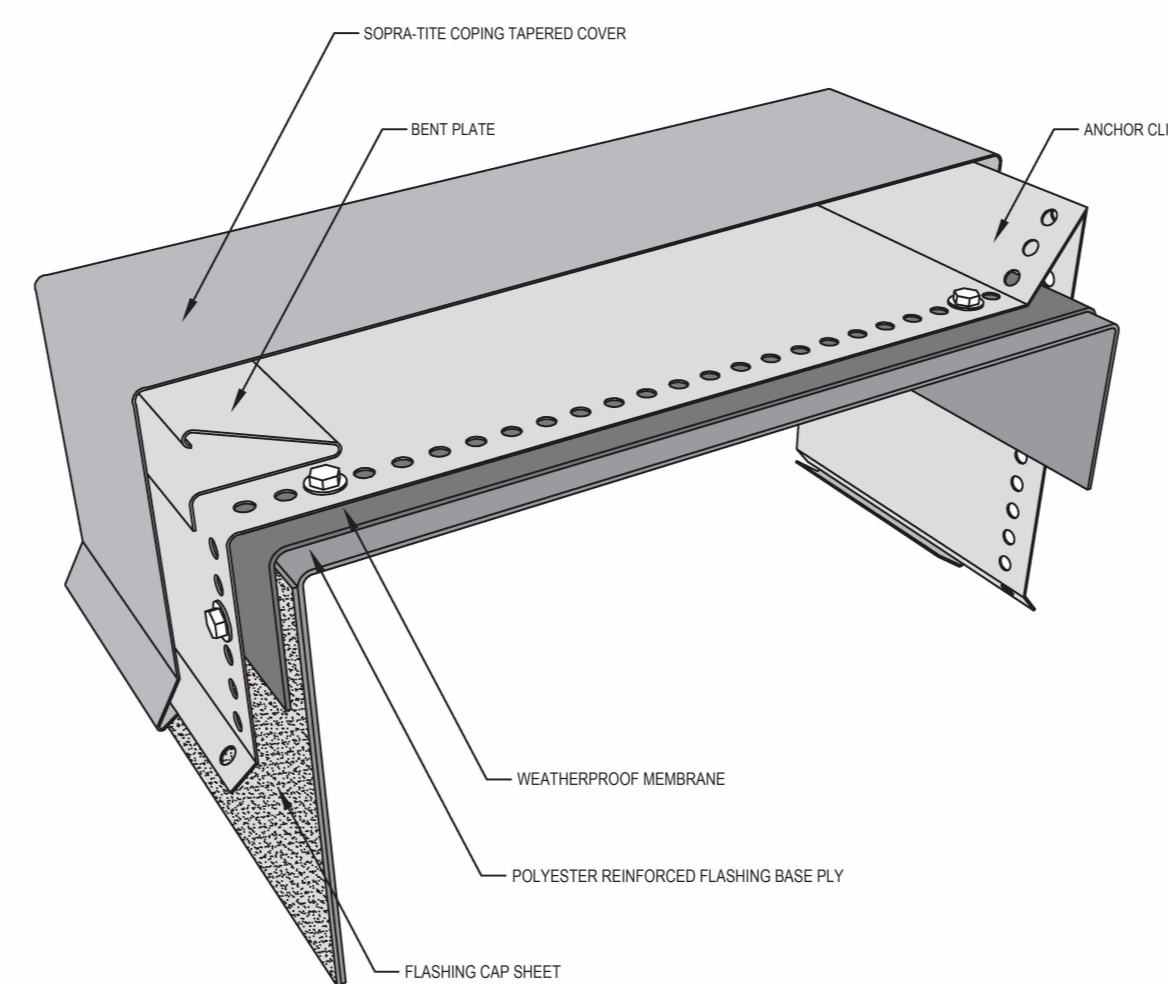
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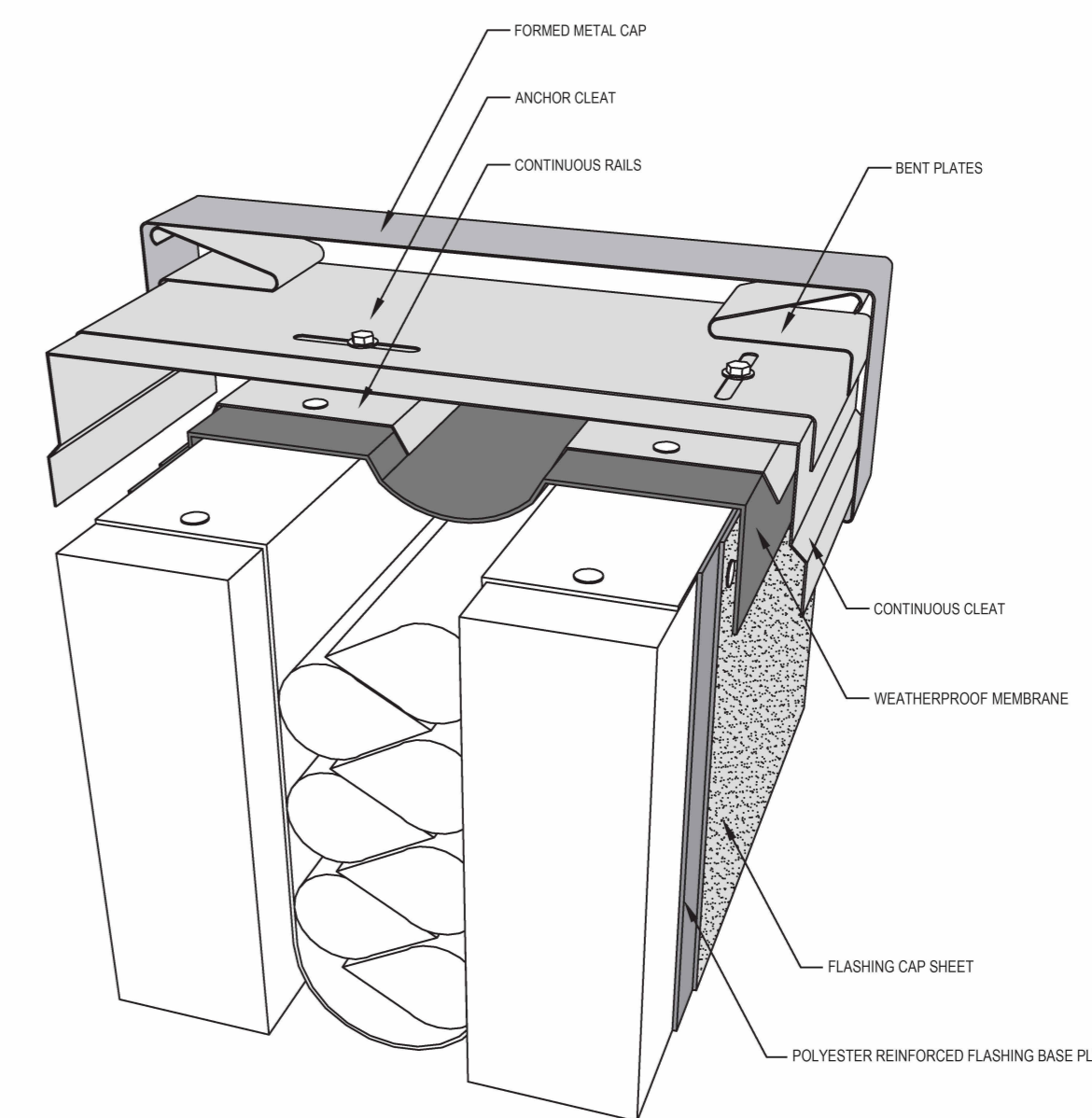


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2. REFER TO METAL-ERA INSTALLATION INSTRUCTIONS FOR COMPLETE INFORMATION.

5 TAPERED COPING - TYPICAL
N.T.S.



NOTES:
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2. REFER TO METAL-ERA INSTALLATION INSTRUCTIONS FOR COMPLETE INFORMATION.

4 EXPANSION JOINT - ROOF TO ROOF
N.T.S.

IMPORTANT: Prior to installation, read instructions carefully.

NOTE: Position roof membrane on top of the wall covering the treated wood nailer(s) or substrate completely. Allow 1/2" minimum excess membrane beyond nailer where applicable. NRCA requirement. Membrane not shown for clarity.

CAUTION: INSTALL MITERS FIRST!

STEP 1 - OUTSIDE CORNER SUPPORT CLIPS
LOCATE AND FASTEN GALVANIZED CORNER SUPPORT CLIPS TIGHT TO THE WALL.

2. INSIDE CORNERS
TEMPORARILY PLACE TWO ANCHOR CLIPS IN PLACE AS SHOWN. DO NOT FASTEN TO WALL AT THIS TIME. THERE SHOULD BE AN APPROXIMATE GAP OF 3/8" BETWEEN WALL AND INSIDE FACE OF ANCHOR CLIP.

STEP 4 - MITER SPLICE PLATES & ANCHOR CLIPS
POSITION THE SPLICE PLATE IN THE CENTER OF THE ANCHOR CLIP. INSTALL THE SPLICE PLATE AND ANCHOR CLIP ASSEMBLY INTO EACH END OF THE CORNER AS SHOWN.

STEP 5 - MITER
PLACE THE CORNER ASSEMBLY INTO POSITION AND SECURE AT THE EXPOSED EDGE OF THE ANCHOR CLIPS AS PER DETAIL A.

3 TAPERED COPING INSTRUCTIONS - 1 OF 3
N.T.S.

STEP 6 - ENDCAP ANCHOR CLIPS
LOCATE AND FASTEN GALVANIZED ANCHOR CLIPS TO WALL WITH PROVIDED FASTENERS FOR SUBSTRATE (SEE DETAIL A).

STEP 7 - ENDCAP SPLICE PLATES
REMOVE RELEASE PAPER FROM TOP OF FACTORY APPLIED SEALANT STRIPS. PLACE SPLICE PLATE ONTO SECOND ANCHOR CLIP AS SHOWN.

STEP 8 - ENDCAP
HOOK OUTSIDE FACE OF ENDCAP OVER THE ANCHOR CLIPS AND ROTATE INTO PLACE. ENGAGE REAR LEG ONTO ANCHOR CLIPS BY PRESSING DOWNWARD UNTIL SNAP LOCK OCCURS.

INSTALLATION NOTES:

- 1) Installing contractor shall check as-built conditions, including nailer attachment, and verify the manufacturer's coping details for accuracy to fit the wall assembly prior to fabrication.
- 2) Fasteners must be corrosion resistant and rated for a minimum 250# pullout force for the substrate that is being used.

ANCHOR CLIP FASTENING-DETAIL A

LOCATE FASTENER IN THIRD FULL HOLE FROM BEND

FASTENER IN FIRST FULL HOLE FROM BEND

ROOF MEMBRANE OR UNDERLAYMENT 1/2" beyond nailer where applicable

If using an EFS system, fasten through face w/ fastener of proper length to penetrate nailer

2 TAPERED COPING INSTRUCTIONS - 2 OF 3
N.T.S.

STEP 9 - ANCHOR CLIPS
LOCATE AND FASTEN GALVANIZED ANCHOR CLIPS TO WALL AT 4'-0" CENTERS WITH PROVIDED FASTENERS FOR SUBSTRATE (SEE DETAIL A).

STEP 10 - SPLICE PLATES
PLACE SPLICE PLATE ONTO ANCHOR CLIPS AT SPLICE JOINTS, 12'-0" O.C.
NOTE: REMOVE RELEASE PAPER FROM SEALANT STRIPS.

STEP 11 - COPING
HOOK OUTSIDE FACE OF COPING OVER THE ANCHOR CLIPS AND ROTATE INTO PLACE. ENGAGE REAR LEG ONTO ANCHOR CLIPS BY PRESSING DOWNWARD UNTIL SNAP LOCK OCCURS.

STEP 12 - COMPLETION
CONTINUE INSTALLING COPING WITH A 3/8" SPACE AT SPLICE JOINTS TO ALLOW FOR THERMAL EXPANSION. FIELD CUT WHERE NECESSARY USING FINE TOOTH HACKSAW OR SNIPS. NOTE: REMOVE PROTECTIVE FILM IMMEDIATELY.

TYPICAL COPING INSTALLATION

8" WIDE SPLICE PLATES WITH SEALANT STRIPS AT EACH JOINT

12" WIDE GALVANIZED ANCHOR CLIPS 4'-0" O.C.

ROOF MEMBRANE OR UNDERLAYMENT 1/2" beyond nailer where applicable

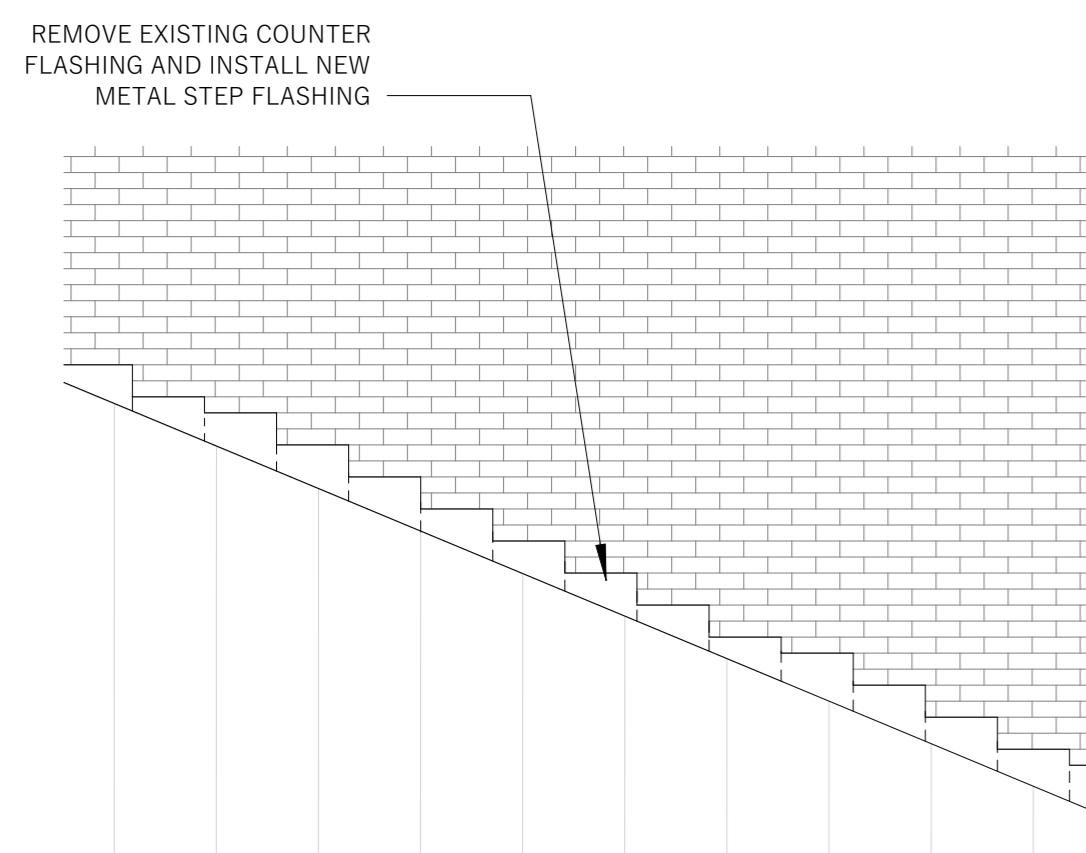
INSIDE FACE

OUTSIDE FACE

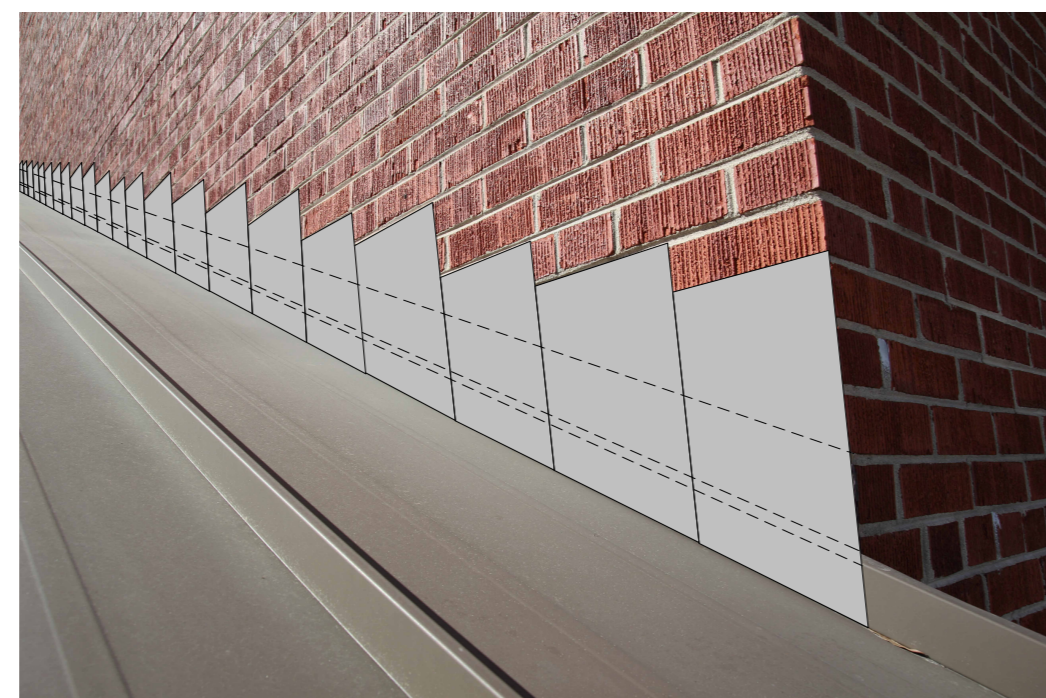
3/8" SPACE

#10 x 1 1/2" STAINLESS STEEL FASTENERS (PROVIDED)

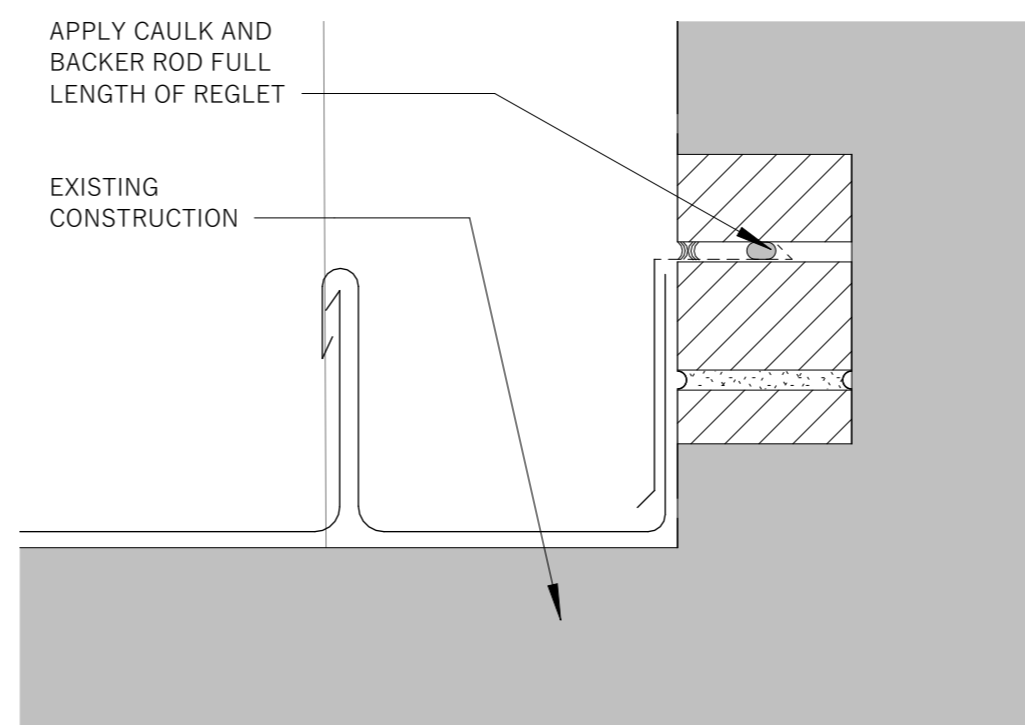
1 TAPERED COPING INSTRUCTIONS - 3 OF 3
N.T.S.



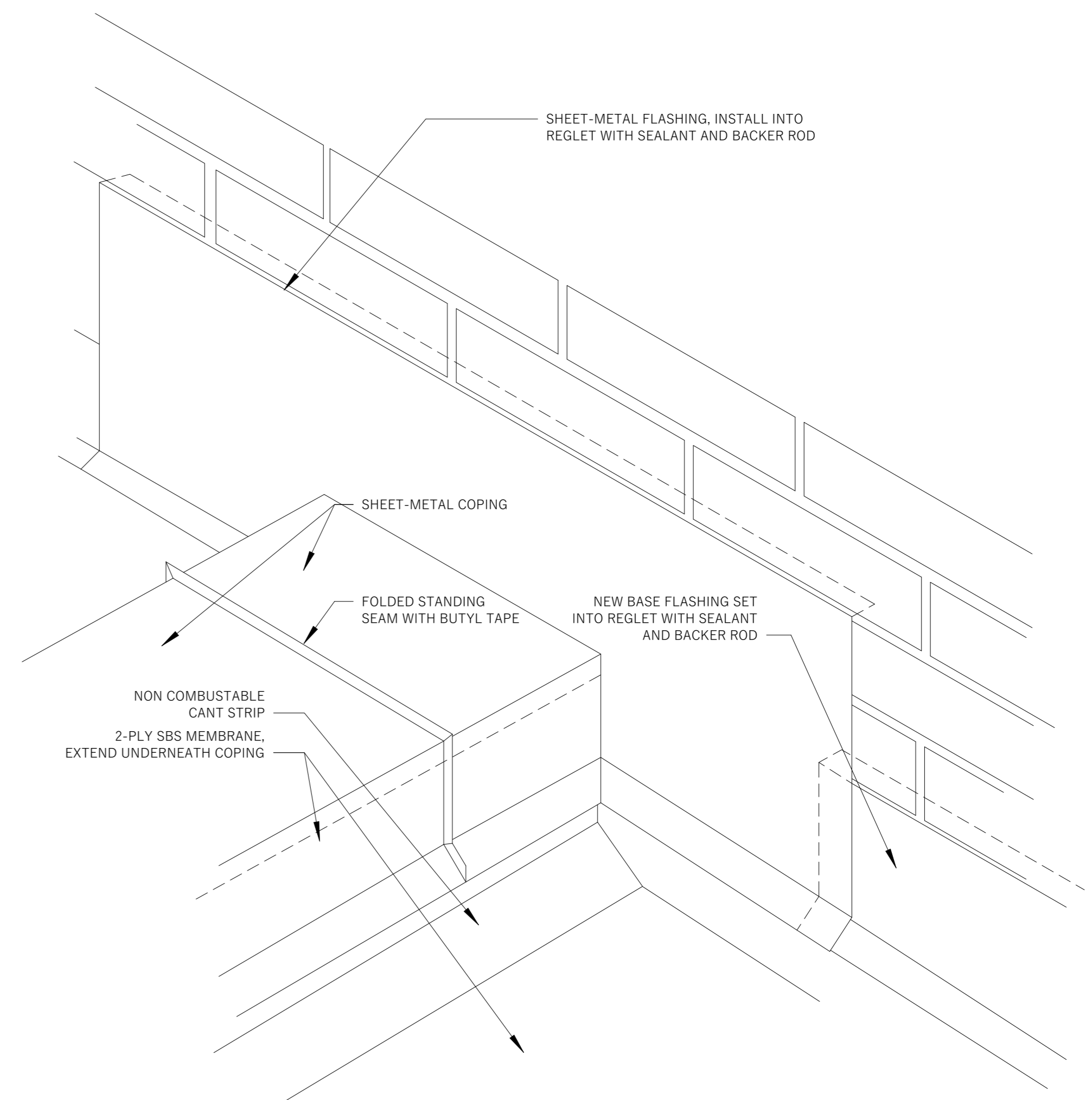
4 FLASHING DETAIL AT METAL ROOF
3/8" = 1'-0"



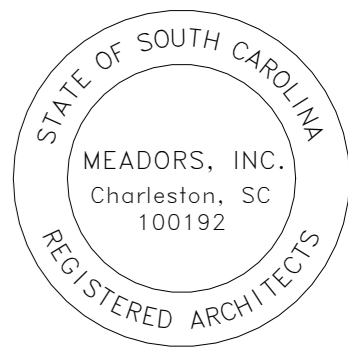
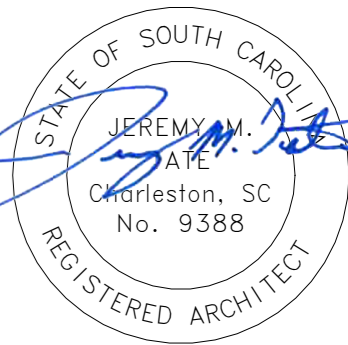
3 FLASHING DETAIL AT METAL ROOF - DIAGRAM
3" = 1'-0"



2 STEP FLASHING DETAIL
3" = 1'-0"



1 RE-ENTRANT CORNER DETAIL
N.T.S.



#	DATE	NOTES

HVAC SEALANT NOTES

To air seal HVAC vents, use mastic tape, foil tape, or fiberglass insulation to seal leaks and insulate ducts:

Mastic tape
Use water-based mastic because it's easier to clean up. Apply it with a paintbrush or caulk gun. For larger gaps, cover them with fiberglass mesh tape before applying mastic.

Foil tape
Use foil tape to seal longitudinal seams along straight duct runs.

Fiberglass insulation
Measure and cut fiberglass insulation to fit around the ducts, then wrap it around and secure it with foil tape.

Duct mastic
Apply duct mastic with a paintbrush to joints where elbows connect to ducts.

Foam Insulation
Apply spray foam insulation fully around the intersection of ductwork to ceiling. Spray foam shall be a extend a minimum of 6" from duct on all sides and shall be minimum 6 inches thick.

General Notes - air sealing HVAC vents:
Don't use duct tape because it deteriorates quickly and doesn't provide a lasting seal.
Pay special attention to connections and joints, which are often the primary sources of leaks.
Don't forget to insulate ducts that are in attics, crawlspaces, unfinished basements, and garages.
Avoid using your HVAC system while the sealant is drying.
Test your work after the sealant has fully dried to check for any remaining leaks.

KEYNOTES

- M1** REMOVE EXISTING AND INSTALL NEW EQUALLY COMPLIANT UNITS.
- M2** TEMPORARY REMOVAL AND RESETING OF EXISTING UNITS.
- M3** REMOVE EXISTING ENCLOSURE; INSTALL NEW SHEET METAL ENCLOSURE FOR PIPING PER DETAIL 3, SEE SHEET A503
- M4** INSTALL NEW SHEET METAL ENCLOSURE FOR PIPING PER DETAIL 3, SEE SHEET A503
- M5** REMOVE AND REINSTALL EXISTING VENT PER DETAIL 3, SEE SHEET A502


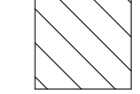
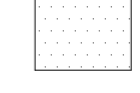
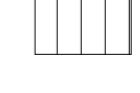
EXISTING HVAC UNIT NOTES:

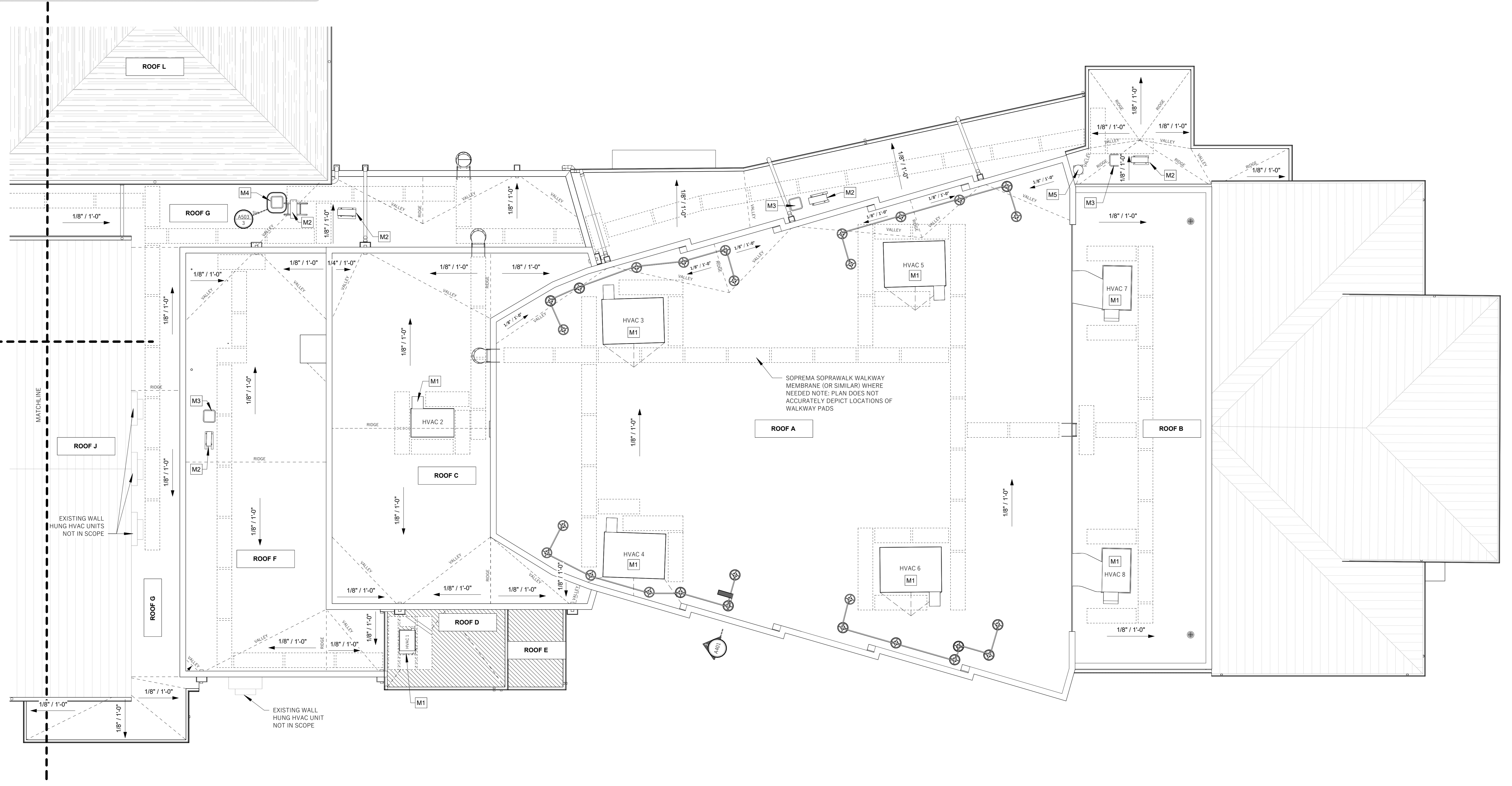
- HVAC 1 - 2 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- HVAC 2 - 10 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- HVAC 3 - 15 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- HVAC 4 - 15 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- HVAC 5 - 15 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- HVAC 6 - 15 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- HVAC 7 - 10 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- HVAC 8 - 10 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER

GENERAL HVAC NOTES

1. GC TO COORDINATE REMOVAL AND INSTALLATION OF NEW UNITS WITH A MECHANICAL CONTRACTOR ON A DESIGN BUILD BASIS.
2. ALL UNITS MUST BE SEISMICALLY RESTRAINED TO STRUCTURE BELOW PER SEISMIC VENDOR/ENGINEER.
3. ANY NEW SEISMIC ROOF CURBS TO BE STAMPED BY ENGINEER & SUBMITTED TO ARCHITECT FOR APPROVAL.
4. MECHANICAL CONTRACTOR TO PROVIDE NEW LINE SETS FOR ALL MINI SPLITS IN SCOPE OF WORK.
5. GC TO GET A MAINTENANCE CHANGEOUT PERMIT FOR NEW UNITS. COORDINATE WITH ELECTRICAL CONTRACTOR FOR ANY MINOR CHANGES.

ROOF MATERIAL LEGEND

-  ASPHALT SHINGLE ROOF
-  SINGLE-PLY MEMBRANE ROOF (EXISTING)
-  SINGLE-PLY MEMBRANE ROOF (NEW)
-  METAL STANDING SEAM ROOF



1 PROPOSED HVAC PLAN - AUDITORIUM
1/8" = 1'-0"

MEADORS
SINCE 1984
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585
Architecture ■ Construction ■ Design Services ■ Cabinetry & Millwork ■ Conservation & Preservation Planning ■ Estate Management

STATE OF SOUTH CAROLINA
BERNARD M. MEADORS
STATE ARCHITECT
Charleston, SC
No. 9388
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
MEADORS, INC.
Charleston, SC
100192
REGISTERED ARCHITECTS

WELDON AUDITORIUM RENOVATIONS
7 Maple Street
Manning, SC 29102

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PROPOSED ARCHITECTURAL HVAC PLAN
M1

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SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"X36"

HVAC SEALANT NOTES

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General Notes - air sealing HVAC vents:
Don't use duct tape because it deteriorates quickly and doesn't provide a lasting seal.
Pay special attention to connections and joints, which are often the primary sources of leaks.
Don't forget to insulate ducts that are in attics, crawlspaces, unfinished basements, and garages.
Avoid using your HVAC system while the sealant is drying.
Test your work after the sealant has fully dried to check for any remaining leaks.

KEYNOTES

- M1** REMOVE EXISTING AND INSTALL NEW EQUALLY COMPLIANT UNITS.
- M2** TEMPORARY REMOVAL AND RESETTING OF EXISTING UNITS.
- M3** REMOVE EXISTING ENCLOSURE; INSTALL NEW SHEET METAL ENCLOSURE FOR PIPING PER DETAIL 3, SEE SHEET A503
- M4** INSTALL NEW SHEET METAL ENCLOSURE FOR PIPING PER DETAIL 3, SEE SHEET A503
- M5** REMOVE AND REINSTALL EXISTING VENT PER DETAIL 3, SEE SHEET A502

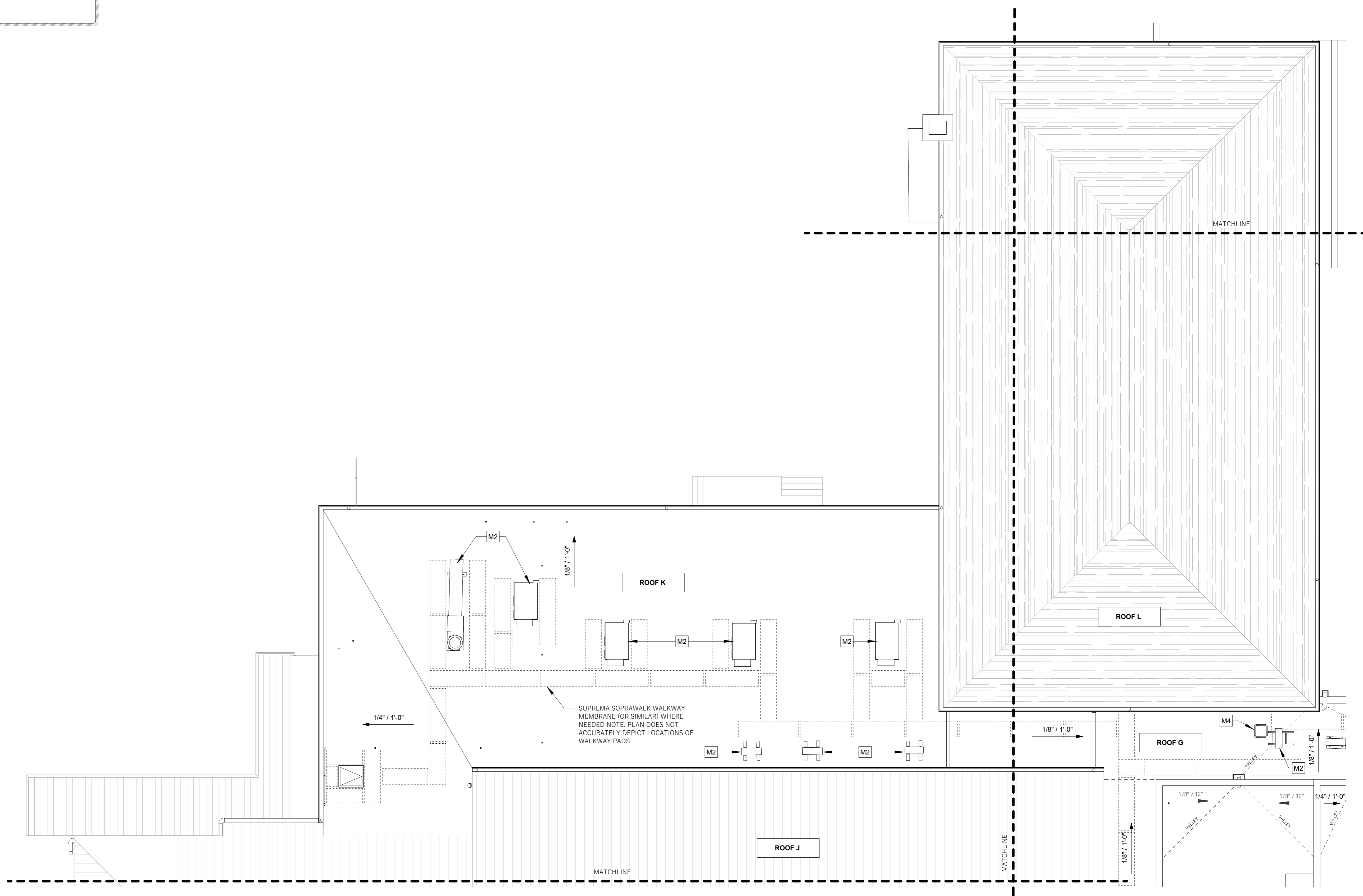
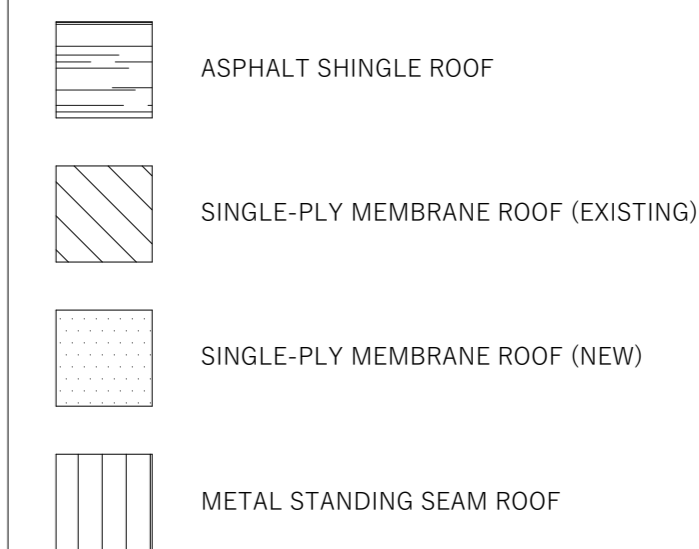
EXISTING HVAC UNIT NOTES:

HVAC 1 - 2 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
 HVAC 2 - 10 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
 HVAC 3 - 15 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
 HVAC 4 - 15 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
 HVAC 5 - 15 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
 HVAC 6 - 15 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
 HVAC 7 - 10 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
 HVAC 8 - 10 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER

GENERAL HVAC NOTES

1. GC TO COORDINATE REMOVAL AND INSTALLATION OF NEW UNITS WITH A MECHANICAL CONTRACTOR ON A DESIGN BUILD BASIS.
2. ALL UNITS MUST BE SEISMICALLY RESTRAINED TO STRUCTURE BELOW PER SEISMIC VENDOR/ENGINEER.
3. ANY NEW SEISMIC ROOF CURBS TO BE STAMPED BY ENGINEER & SUBMITTED TO ARCHITECT FOR APPROVAL.
4. MECHANICAL CONTRACTOR TO PROVIDE NEW LINE SETS FOR ALL MINI SPLITS IN SCOPE OF WORK.
5. GC TO GET A MAINTENANCE CHANGEOUT PERMIT FOR NEW UNITS. COORDINATE WITH ELECTRICAL CONTRACTOR FOR ANY MINOR CHANGES.

ROOF MATERIAL LEGEND



1 PROPOSED HVAC PLAN - BREEDIN GARDEN ROOM
 1/8" = 1'-0"

MEADORS
 SINCE 1984
 2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585
 Architecture ■ Construction ■ Design Services ■ Cabinetry & Millwork ■ Commissioning & Preservation Planning ■ Estate Management

STATE OF SOUTH CAROLINA
 BREEDIN M. MEADORS
 ARCHITECT
 No. 9388
 REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
 MEADORS, INC.
 Charleston, SC 100192
 REGISTERED ARCHITECTS

WELDON AUDITORIUM RENOVATIONS
 7 Maple Street
 Manning, SC 29102

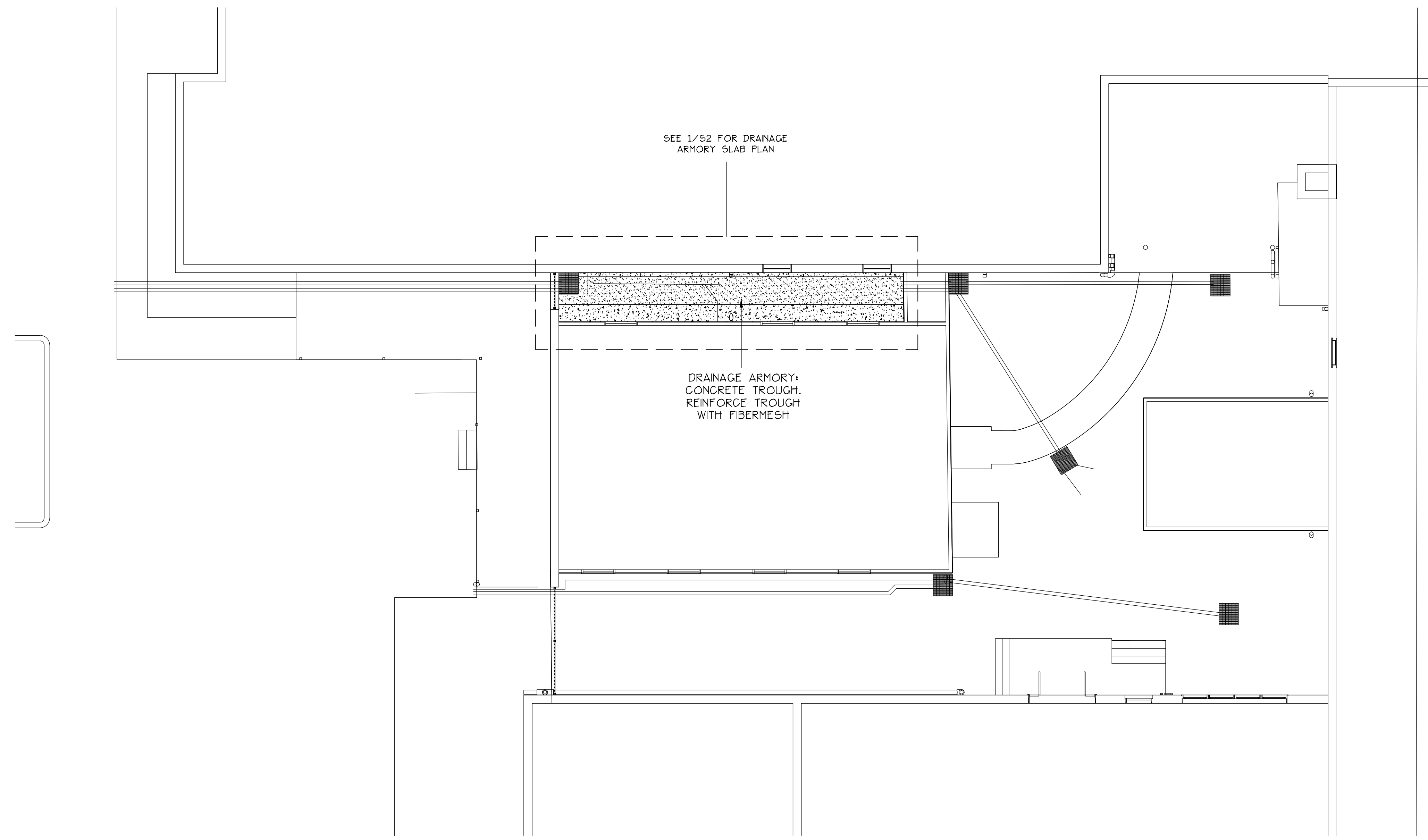
PERMIT
 PROJ. NO. 21-0053
 ISSUE DATE: 01/31/25

REVISIONS		
#	DATE	NOTES

PROPOSED ARCHITECTURAL HVAC PLAN
M2

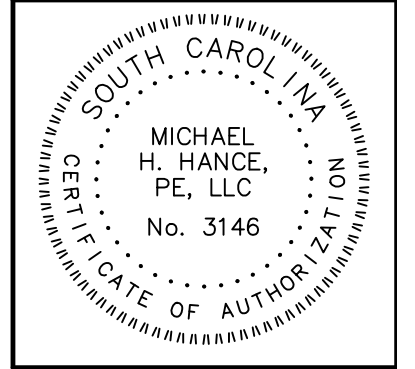
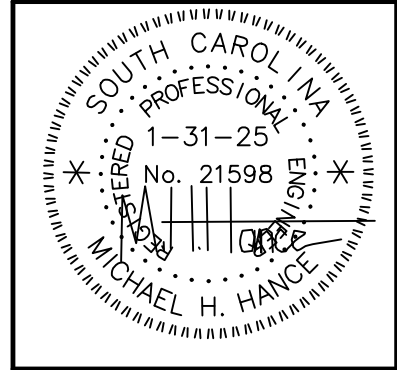
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SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"x36"



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 STRUCTURAL ENGINEER
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 Mount Pleasant, South Carolina 29464
 MT. PLEASANT OFFICE: (843) 856-2649

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APP'D: MHH
DEPT.: STRUCTURAL

PROJECT	WELDON AUDITORIUM 7 MAPLE STREET MANNING, SC
TITLE	CRTYRD. DRAINAGE KEY PLAN

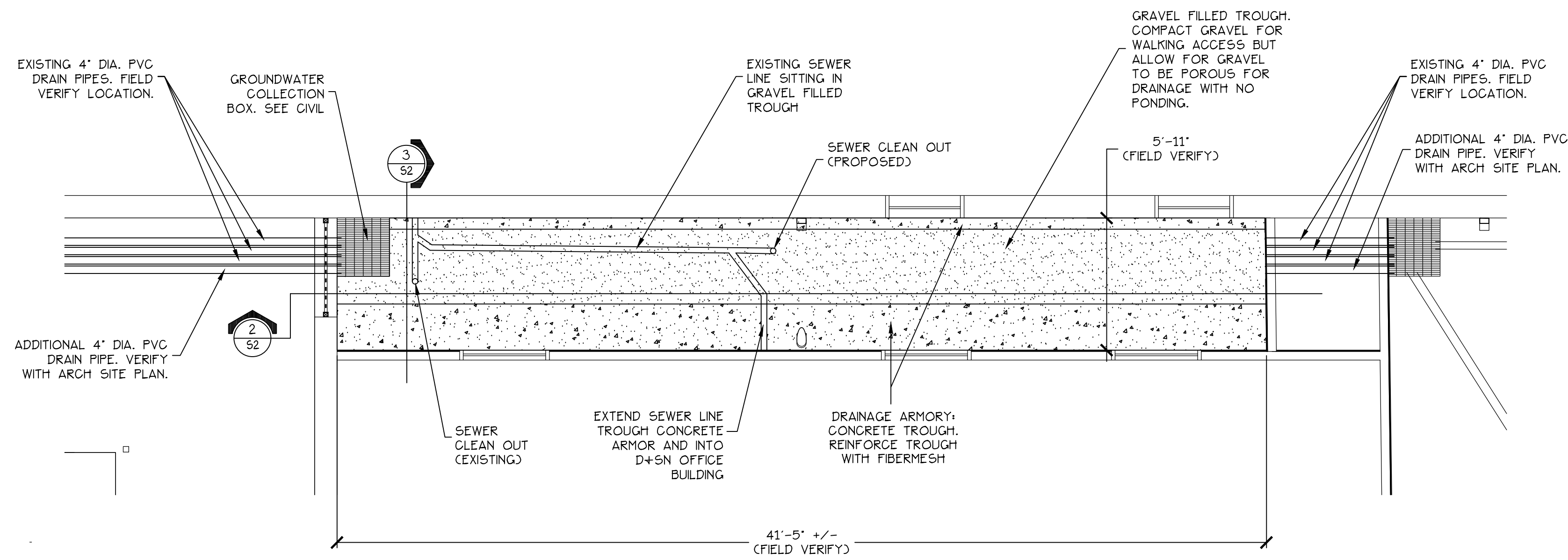
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DWG NO: S-1
DATE: January 31, 2025

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51

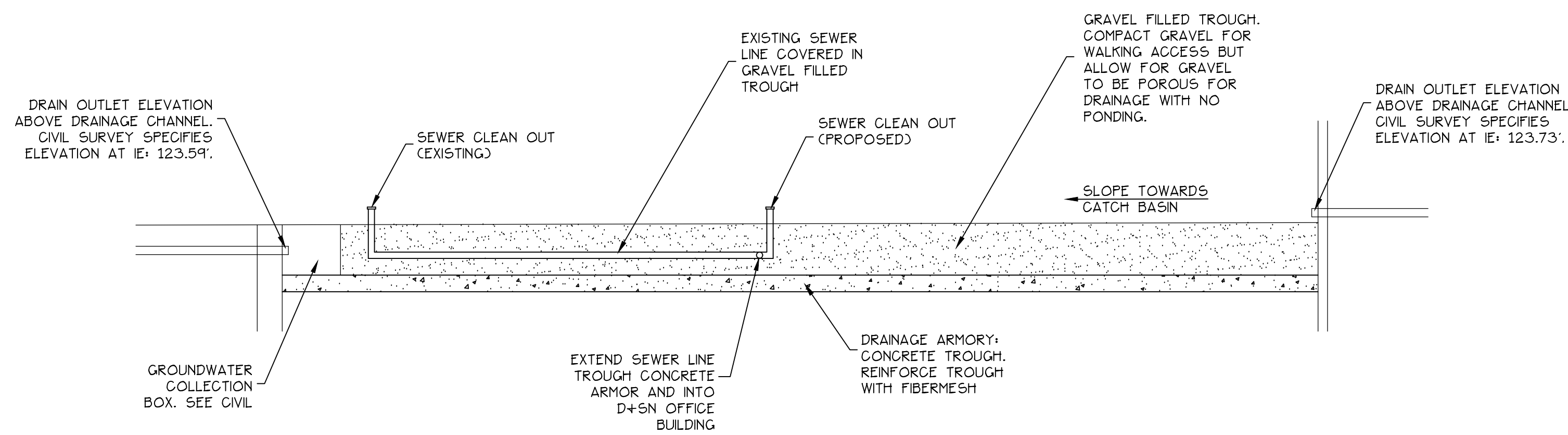
COURTYARD DRAINAGE KEY PLAN

SCALE: 1/8" = 1'-0"

NOTE:
ARCHITECTURAL SITE PLAN HAS NOTES
FROM CIVIL REGARDING PIPE
SIZES AND LOCATIONS.

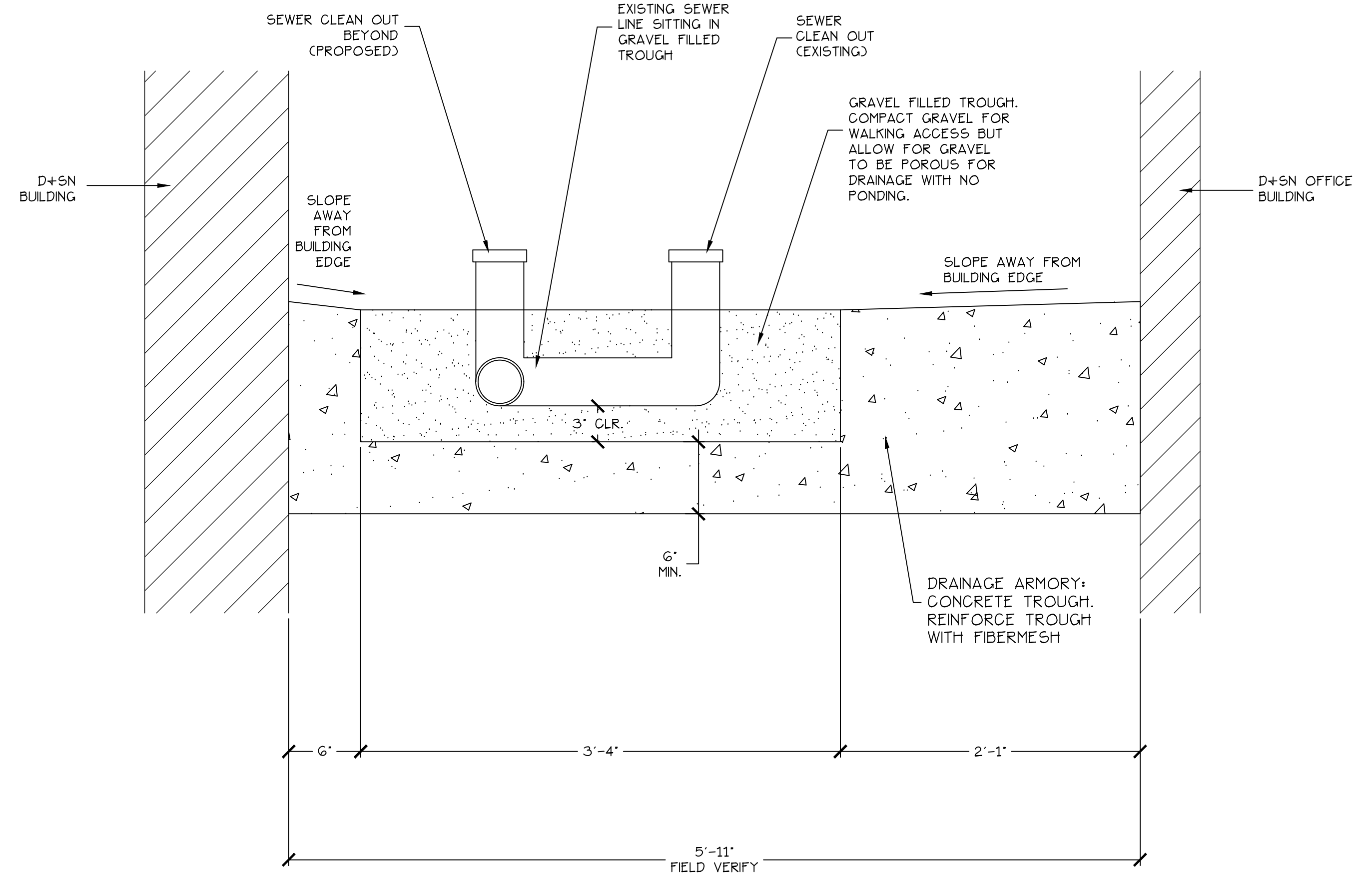


1 DRAINAGE ARMORY SLAB PLAN
SCALE: 1/4" = 1'-0"



2 DRAINAGE ARMORY SLAB/TROUGH SECTION
SCALE: 1/4" = 1'-0"

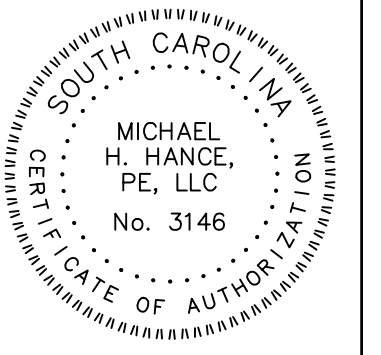
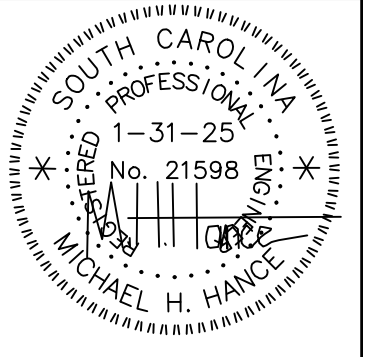
PURPOSE:
CONCRETE TROUGH WITH GRAVEL FILLED CHANNEL
TO SUPPORT EXISTING SEWER LINE AND TO
ALLOW COURTYARD DRAINAGE LINES TO FLOW
THROUGH GRAVEL AND DISCHARGE INTO EXISTING
CATCH BASIN.



3 DRAINAGE ARMORY TROUGH SECTION
SCALE: 1-1/2" = 1'-0"

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PROJECT
**WELDON AUDITORIUM
7 MAPLE STREET
MANNING, SC**

TITLE
DRAINAGE ARMORY PLAN

**WELDON
AUDITORIUM**

DWG NO:

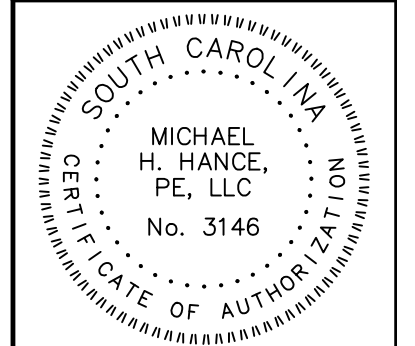
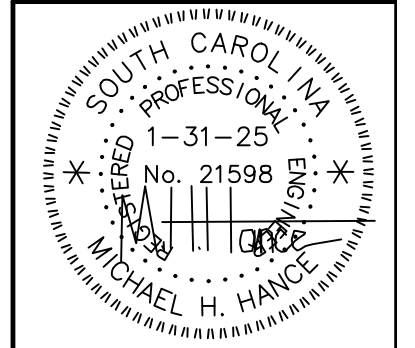
S-2

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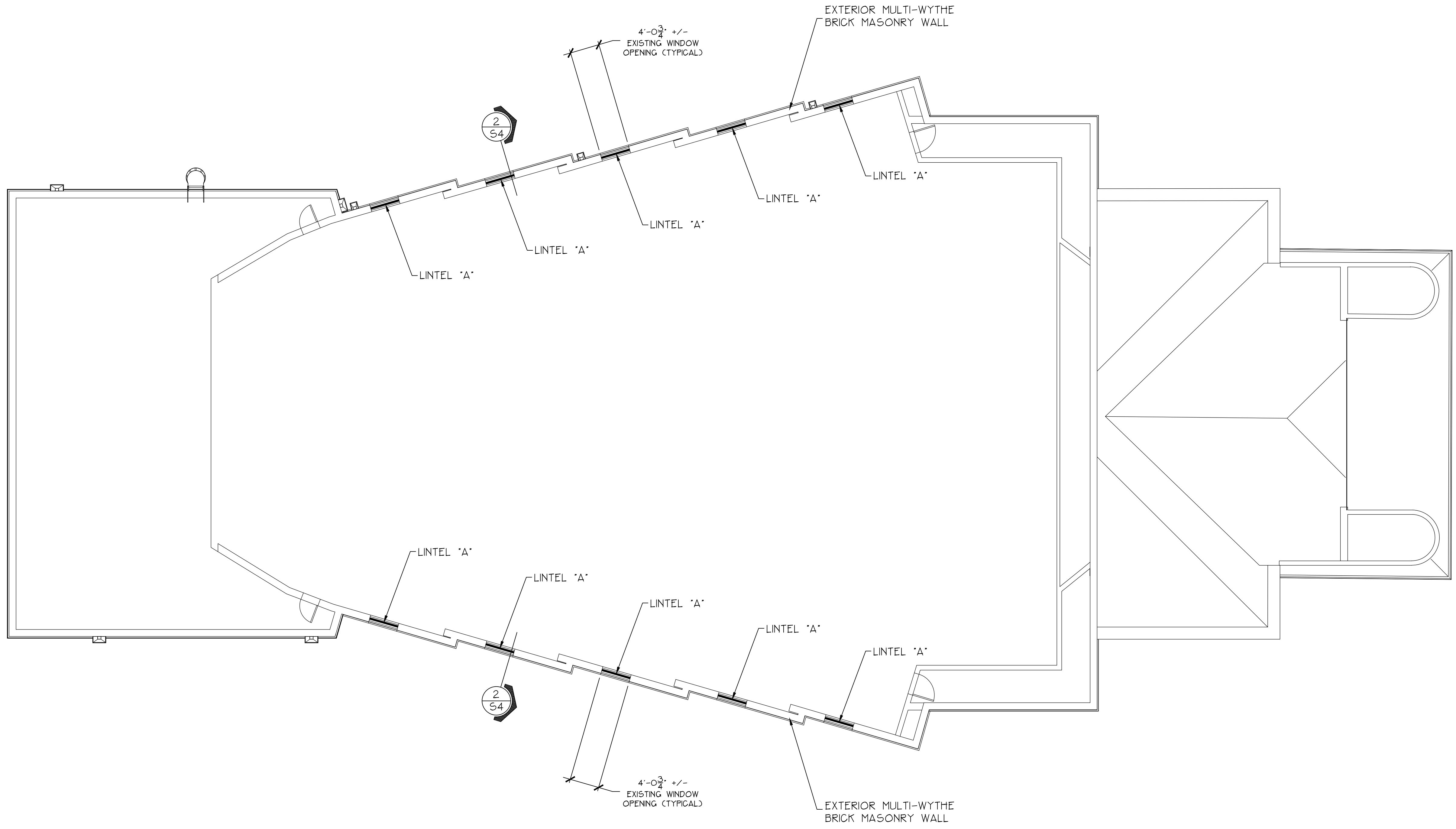


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PROJECT	WELDON AUDITORIUM 7 MAPLE STREET MANNING, SC
TITLE	INFILL WINDOW LINTEL PLAN

DWG NO:	S-3
DATE:	January 31, 2025

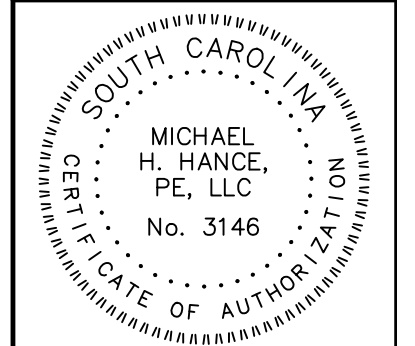
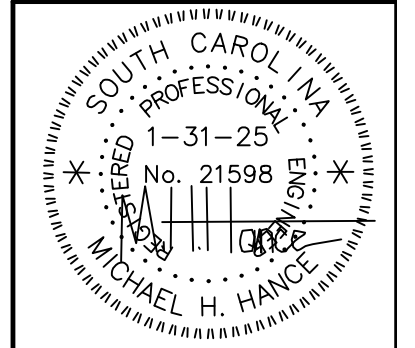


STEEL LINTEL SCHEDULE:

LINTEL 'A' - REMOVE EXISTING STEEL LINTEL AND REPLACE WITH NEW GALV. STEEL LINTEL WITH 6" MIN. END BEARING EACH SIDE. SEE S4 FOR LINTEL DETAIL.

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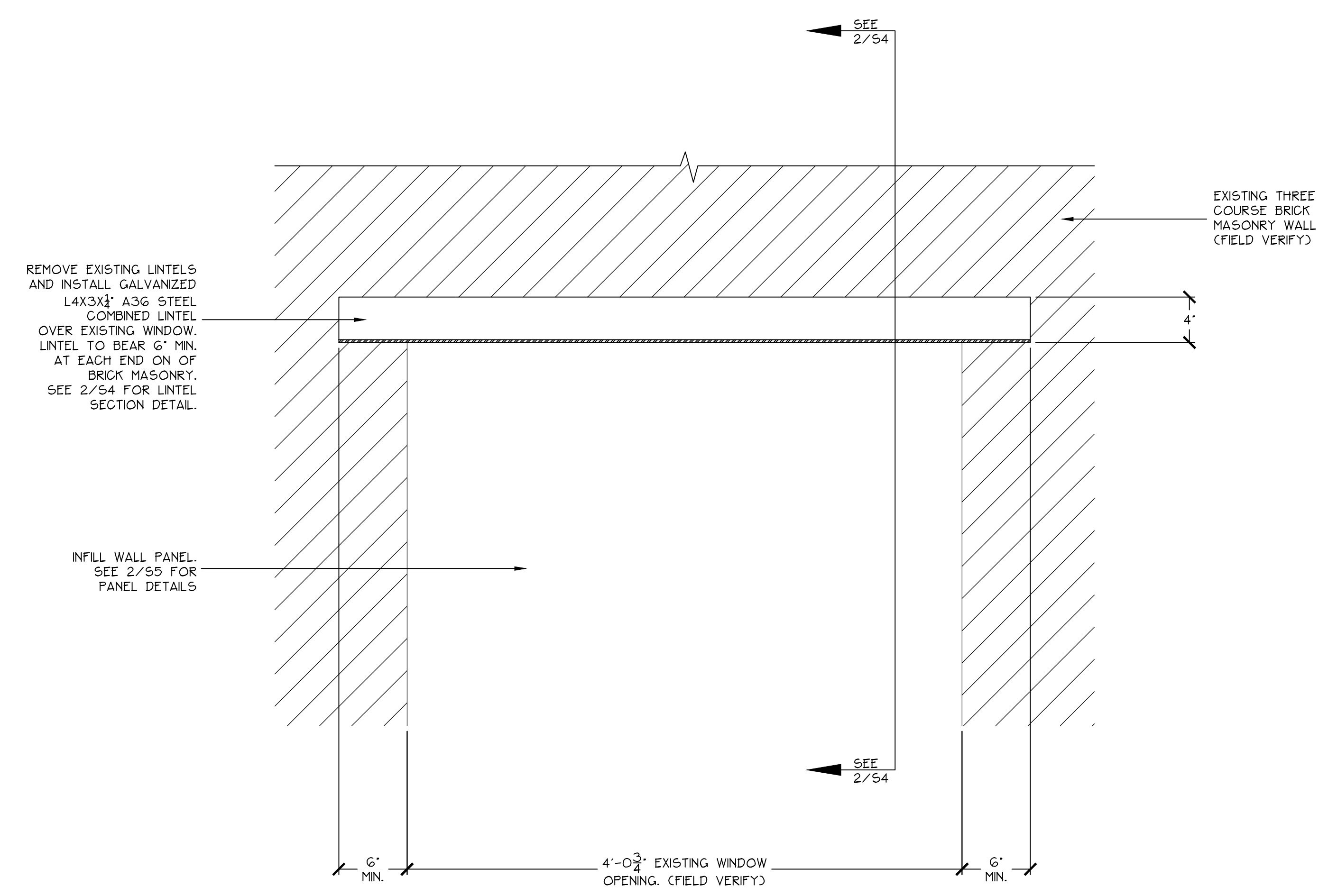


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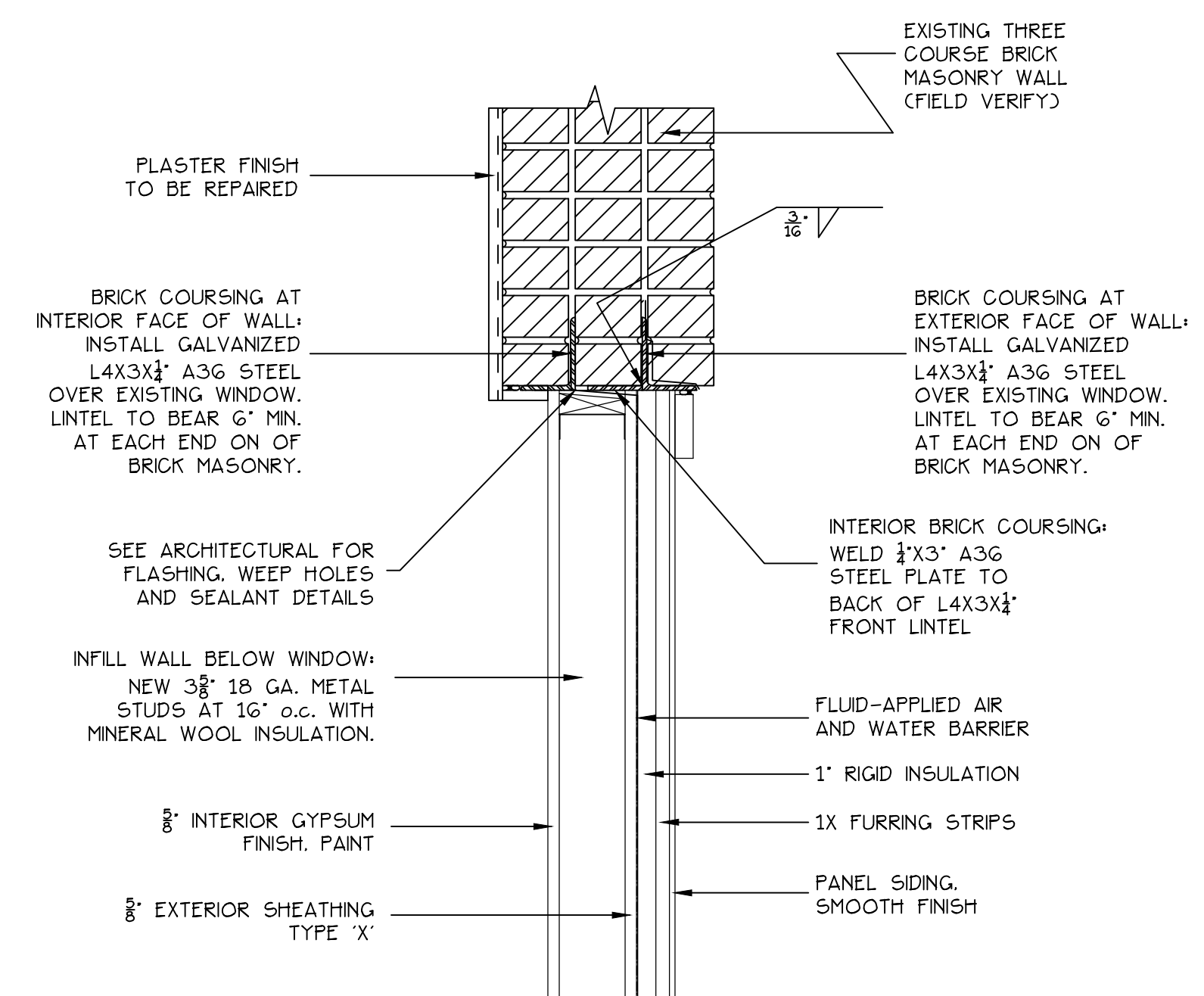
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APP'D: MHH
DEPT.: STRUCTURAL

PROJECT	WELDON AUDITORIUM 7 MAPLE STREET MANNING, SC
TITLE	WINDOW LINTEL SECTIONS

WELDON AUDITORIUM
DWG NO: S-4
DATE: January 31, 2025



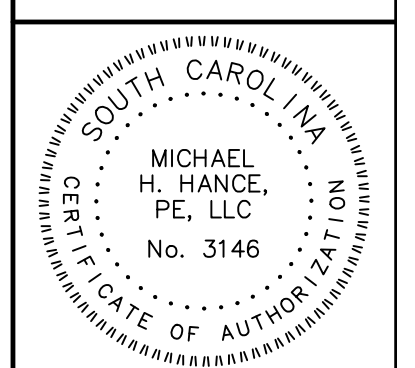
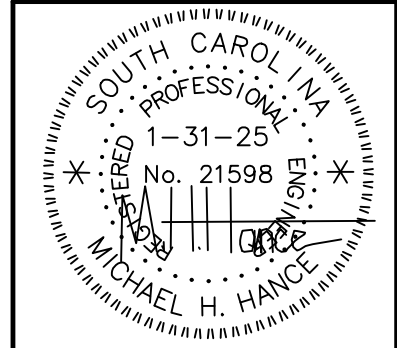
1 INFILL WINDOW LINTEL ELEVATION
 S4 SCALE: 1-1/2" = 1'-0"



2 INFILL WINDOW LINTEL SECTION
 S4 SCALE: 1-1/2" = 1'-0"

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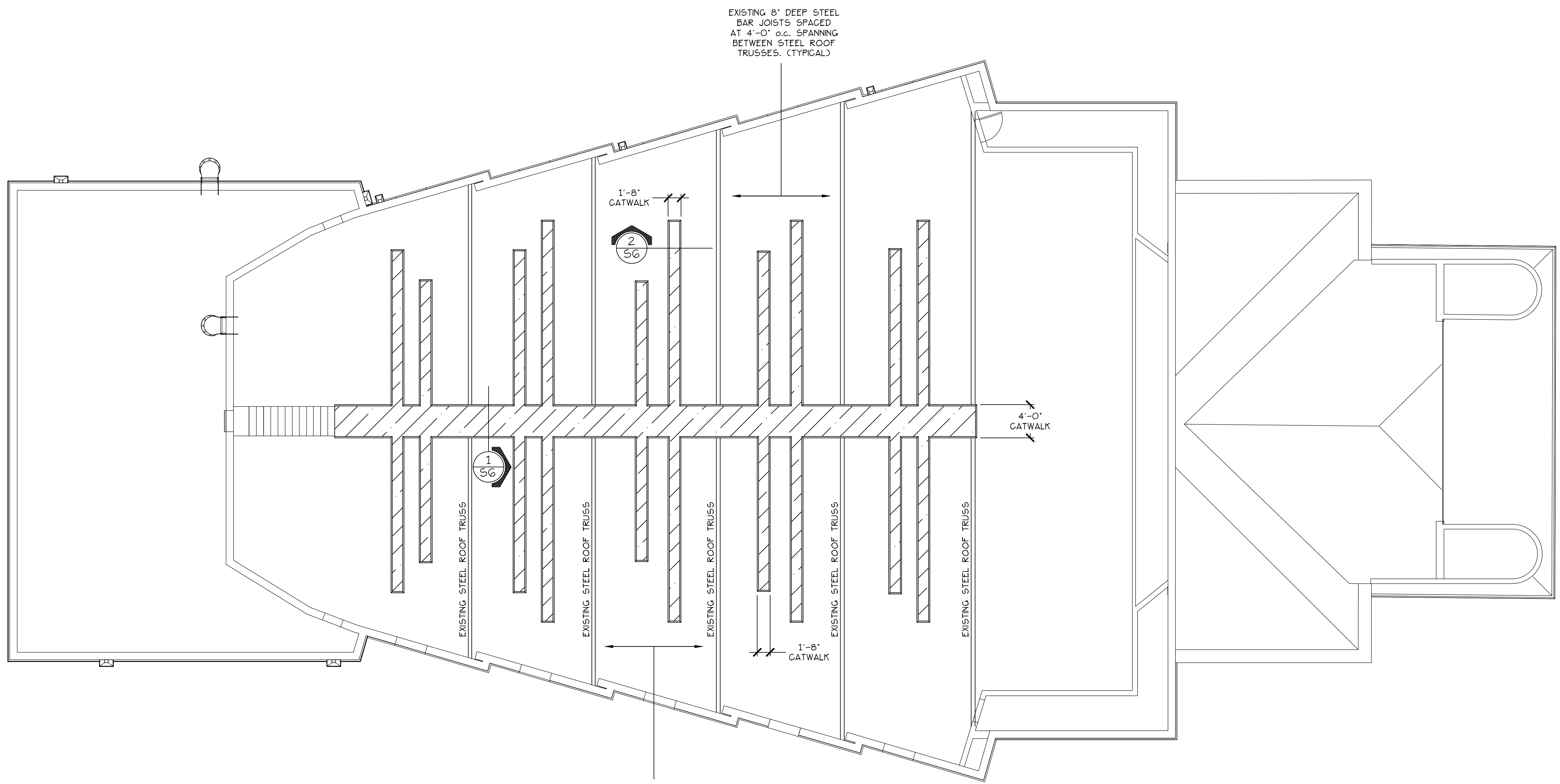


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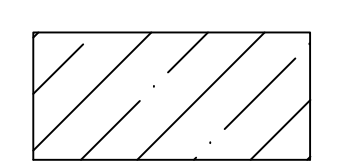
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DEPT.: STRUCTURAL

PROJECT	WELDON AUDITORIUM 7 MAPLE STREET MANNING, SC
TITLE	CATWALK GUARDRAIL PLAN

DWG NO:	S-5
DATE:	January 31, 2025



CATWALK GUARDRAIL KEY:

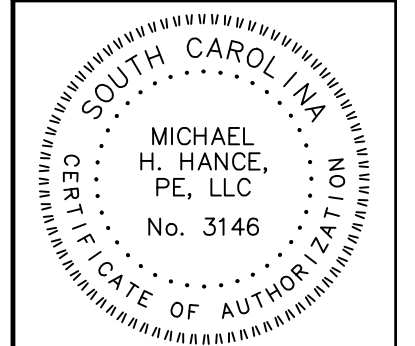
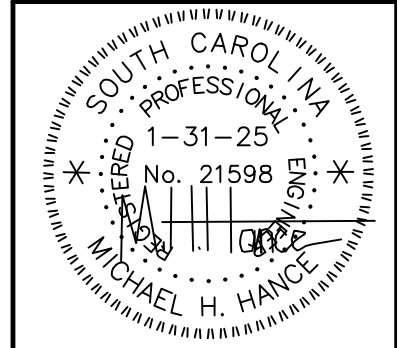


EXISTING CATWALK LOCATIONS:
 PERIMETER OF EXISTING CATWALK
 AT ATTIC AREA TO RECEIVE NEW
 GUARDRAILS TO MEET OSHA
 SPECIFICATIONS AS REQUIRED.
 SEE S6 FOR GUARDRAIL
 SECTIONS.

1 CATWALK GUARDRAIL PLAN
 S5 SCALE: 1/8" = 1'-0"

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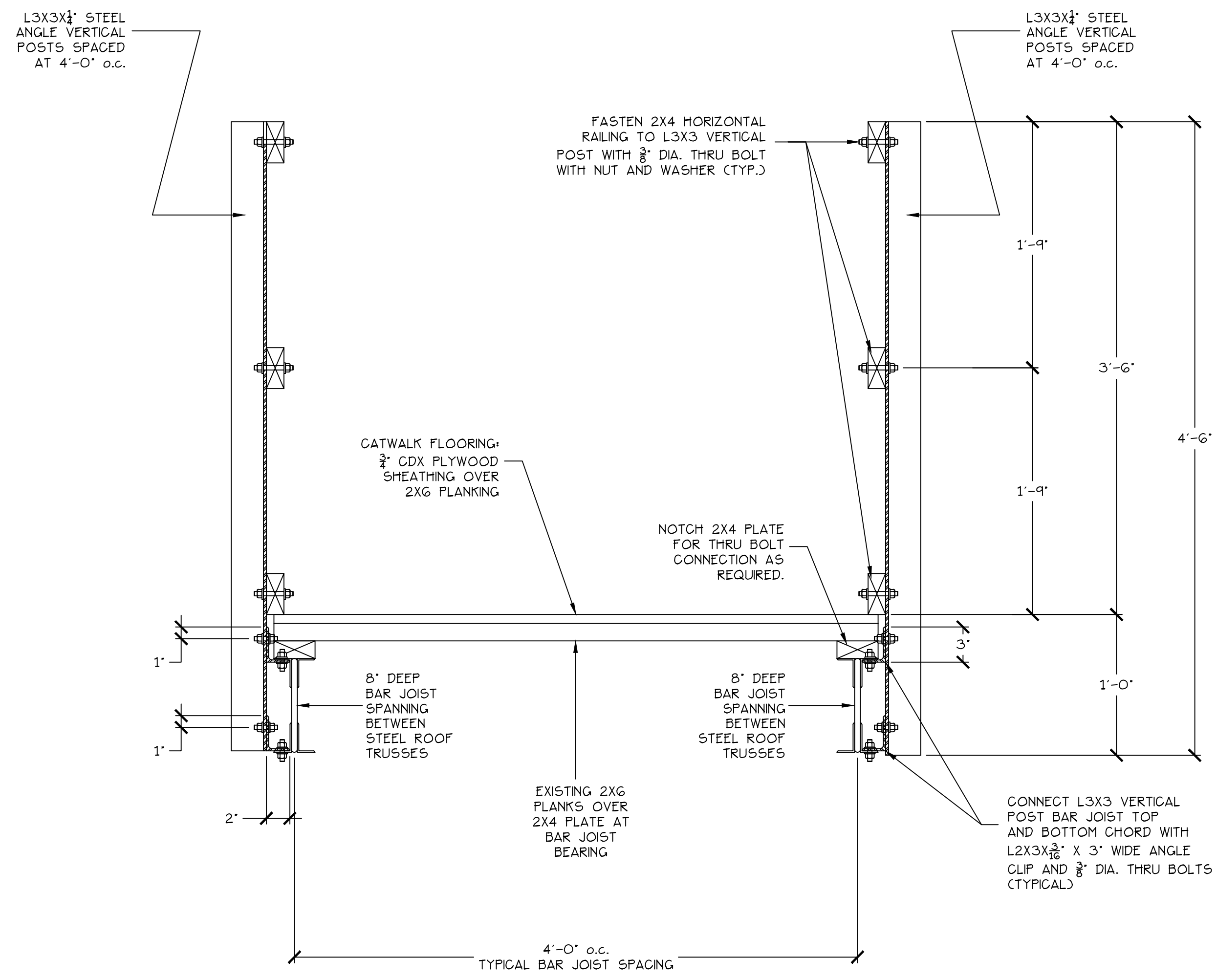


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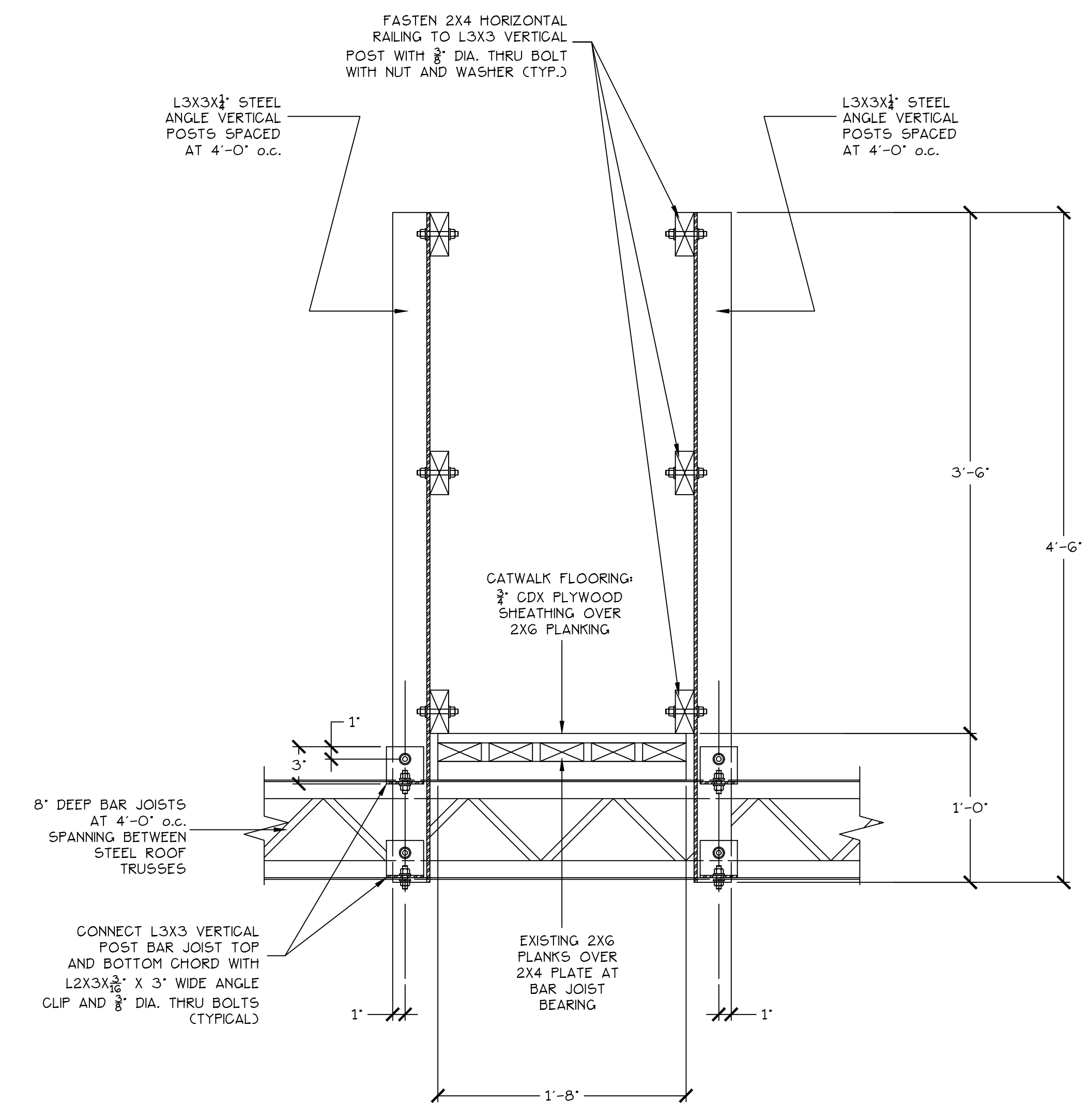
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PROJECT	WELDON AUDITORIUM 7 MAPLE STREET MANNING, SC
TITLE	CATWALK GUARDRAIL SCTNS.

WELDON AUDITORIUM
DWG NO: S-6
DATE: January 31, 2025



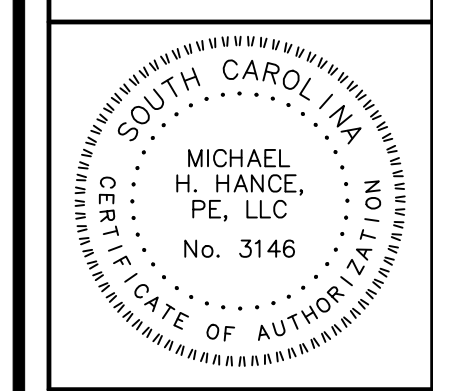
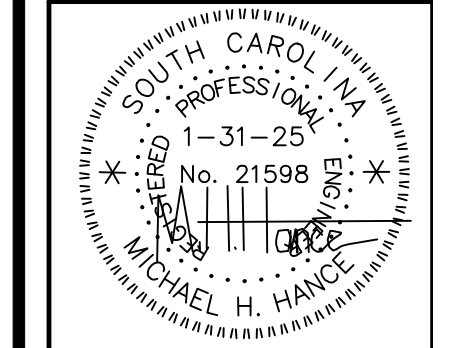
1 4'-0" CATWALK GUARDRAIL SECTION
56 SCALE: 1-1/2" = 1'-0"



2 1'-8" CATWALK GUARDRAIL SECTION
56 SCALE: 1-1/2" = 1'-0"

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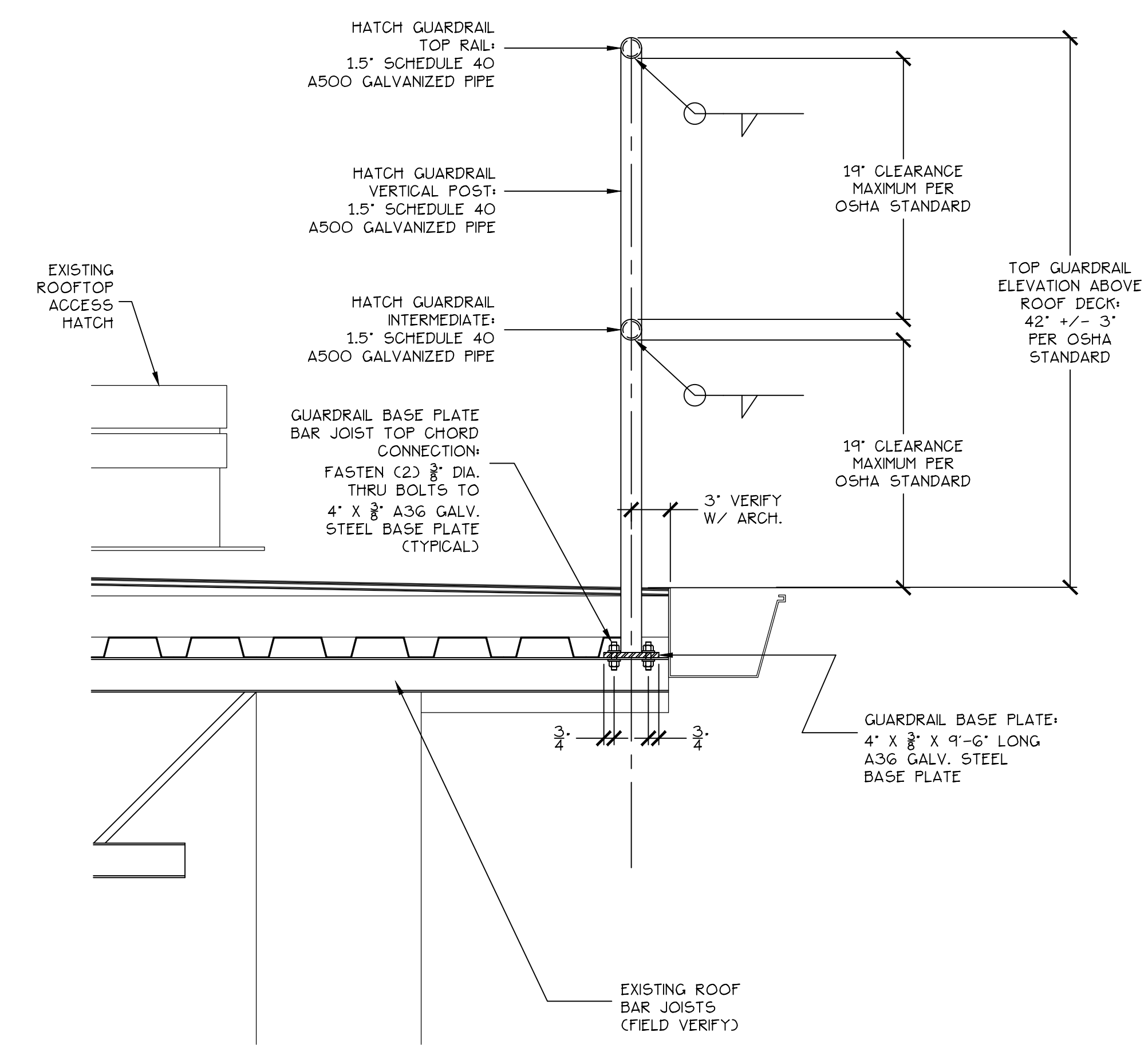


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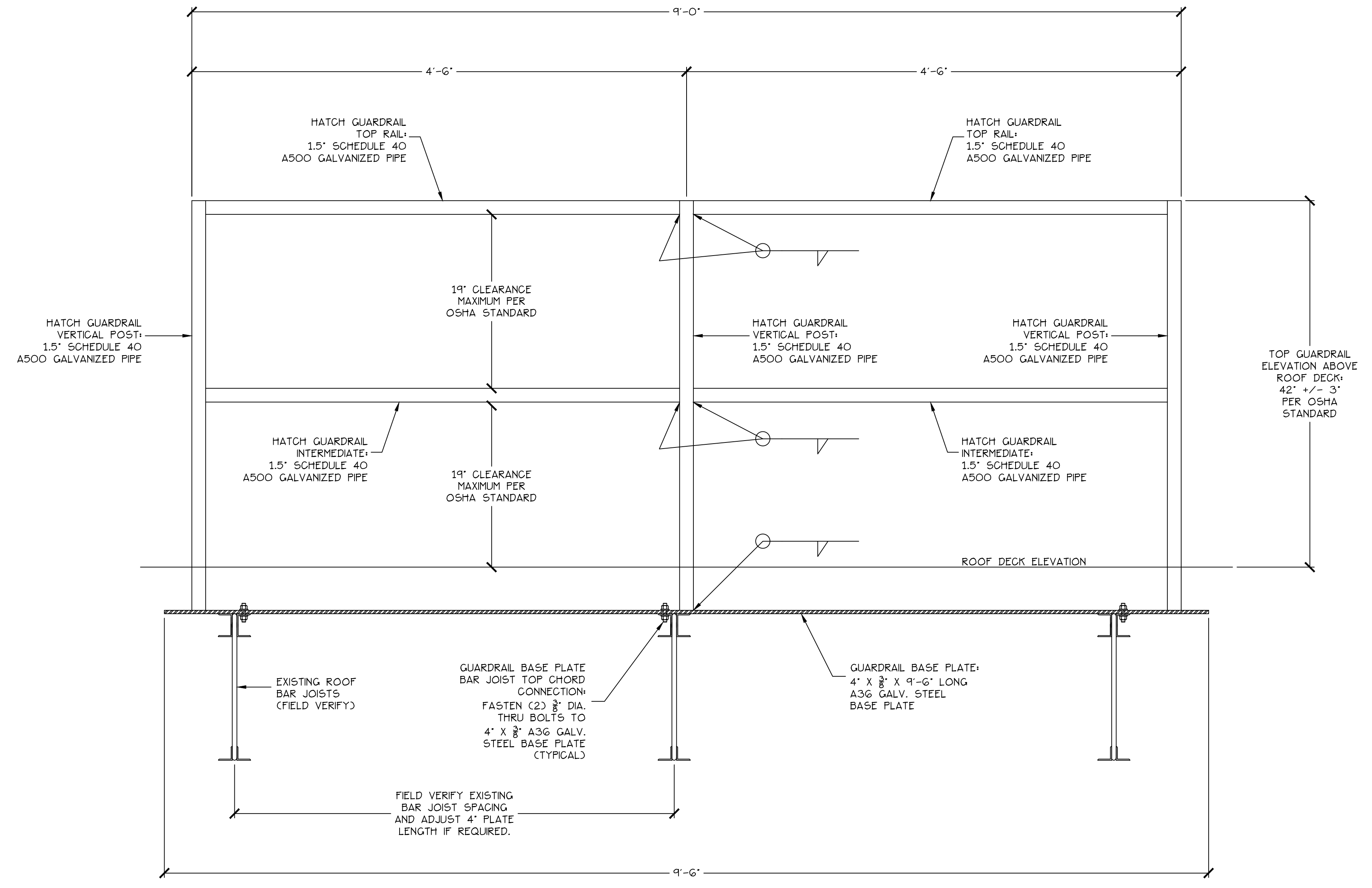
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DEPT.: STRUCTURAL

PROJECT	WELDON AUDITORIUM 7 MAPLE STREET MANNING, SC
TITLE	ROOF HATCH GUARDRAIL

WELDON AUDITORIUM
DWG NO: S-7
DATE: January 31, 2025



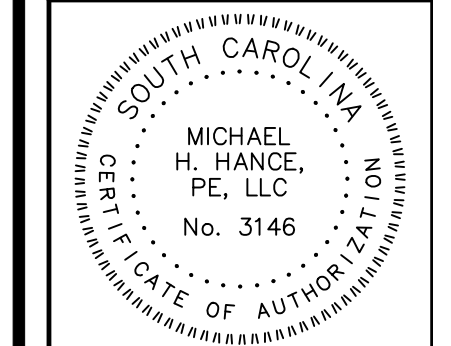
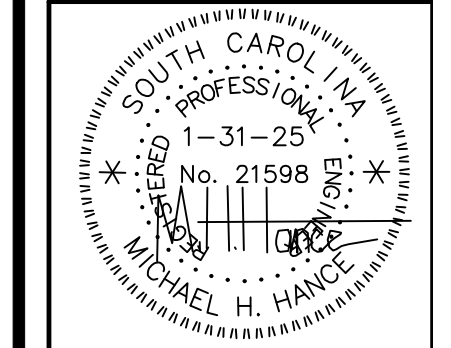
1 9'-0" ROOFTOP HATCH GUARDRAIL SECTION
SCALE: 1-1/2" = 1'-0"



2 9'-0" ROOFTOP HATCH GUARDRAIL ELEVATION
SCALE: 1-1/2" = 1'-0"

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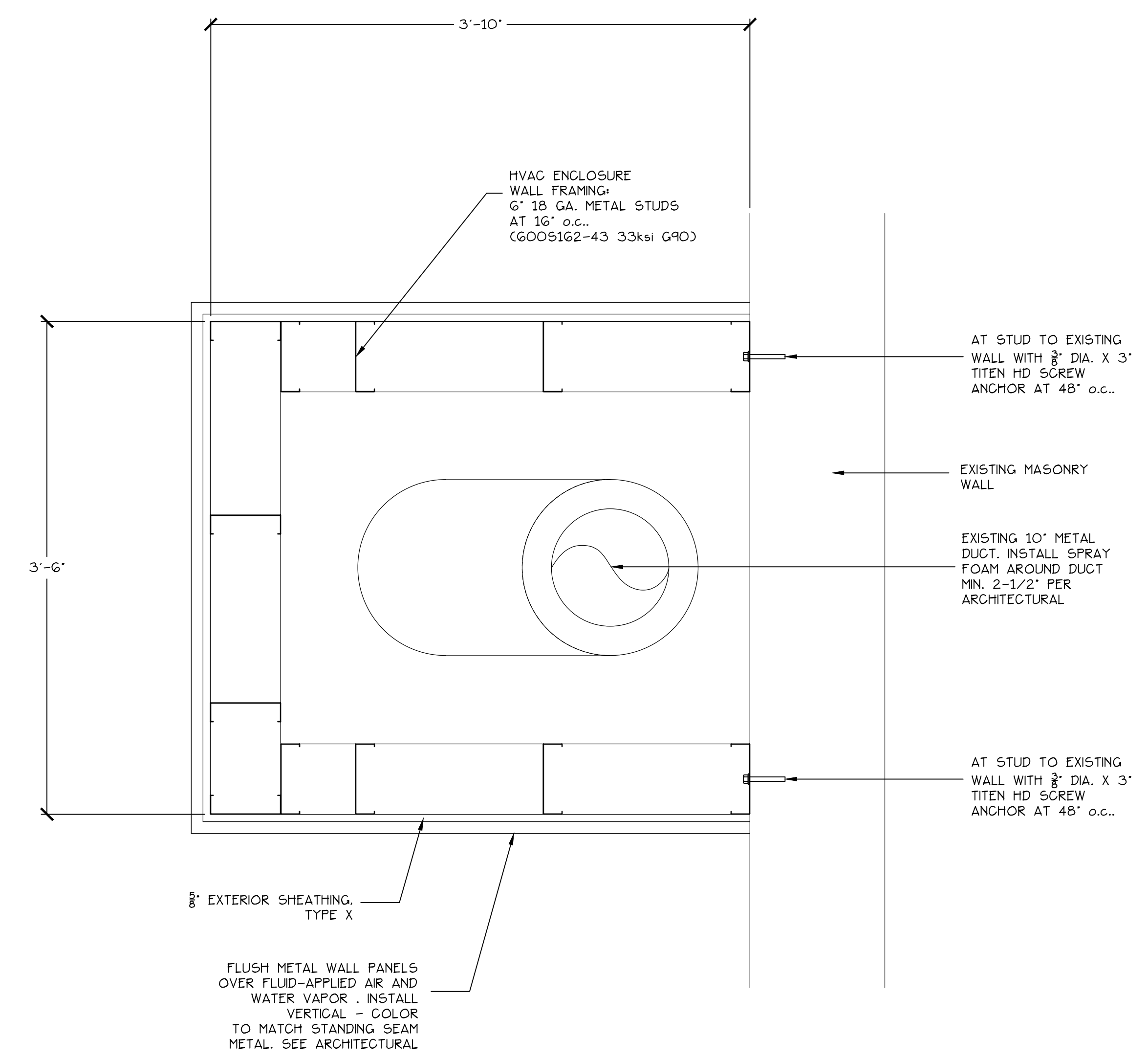
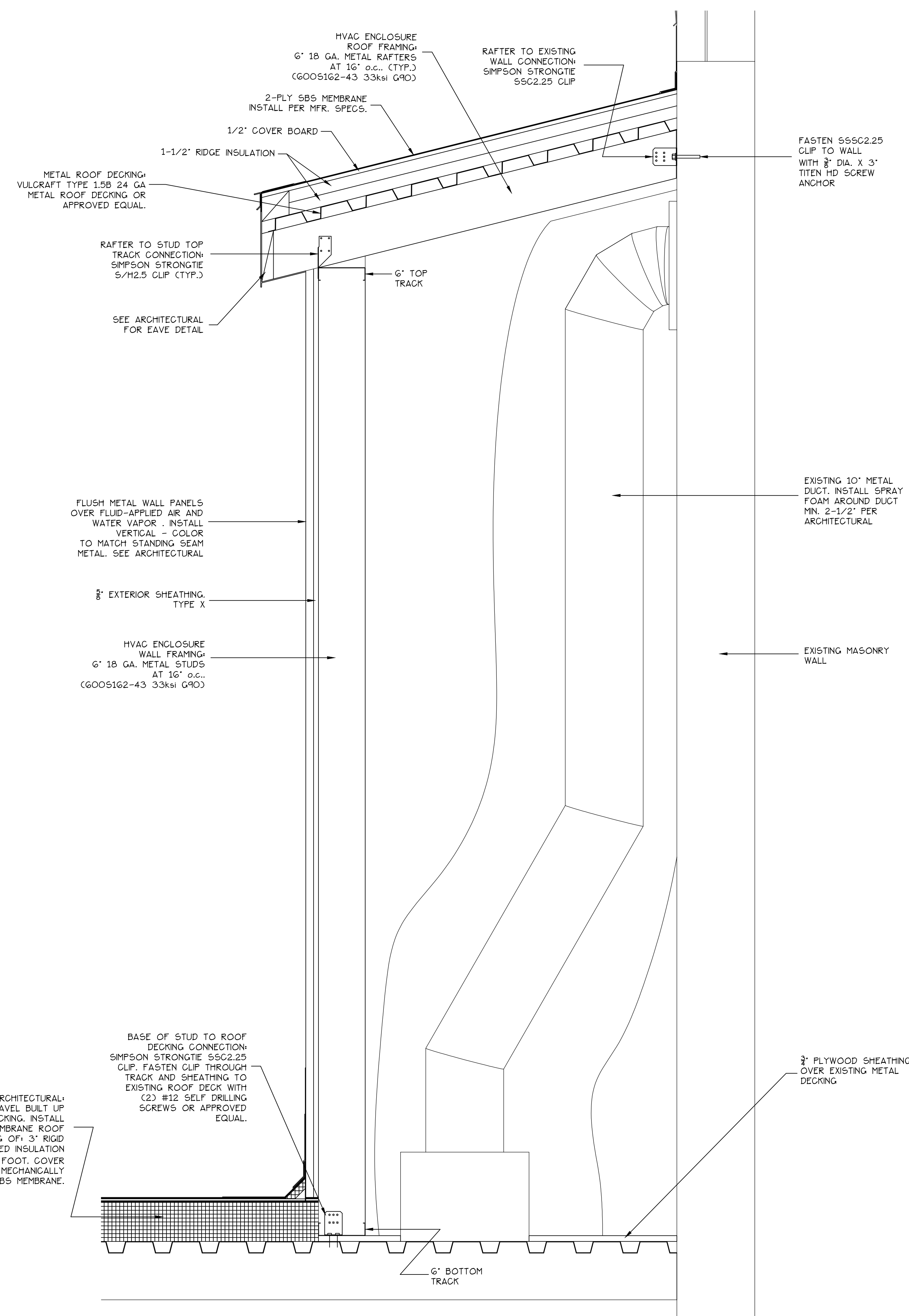


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PROJECT	WELDON AUDITORIUM 7 MAPLE STREET MANNING, SC
TITLE	HVAC ENCLOSURE SHED

DWG NO:	S-8
DATE:	January 31, 2025



1 HVAC ENCLOSURE SHED SECTION
SCALE: 1-1/2" = 1'-0"

2 HVAC ENCLOSURE SHED WALL PLAN
SCALE: 1-1/2" = 1'-0"

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING SITE CONDITIONS THAT ARE NOT CONSISTENT WITH THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND ERECTION OF TEMPORARY BRACING AND SHORING AS REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR TO NOTIFY STRUCTURAL ENGINEER OF ANY UNUSUAL AND/OR EXCESSIVE LOADS DUE TO EQUIPMENT OR CONSTRUCTION REQUIREMENTS.
- THESE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL AND DRAWING/DOCUMENTS RELATING TO OTHER TRADES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN CHECK AND COORDINATION OF DIMENSIONS, CLEARANCES, ETC. WITH THE WORK OF THE OTHER TRADES. IN CASE OF CONFLICT, CONTACT ENGINEER.
- WORK NOT INDICATED AS PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT AT CORRESPONDING PLACES SHALL BE REPEATED.
- ALL SECTIONS AND DETAILS ARE TYPICAL AT SIMILAR LOCATIONS AND WHERE APPLICABLE.
- THE CONTRACTOR SHALL CONSTRUCT THIS PROJECT IN ACCORDANCE WITH 2021 INTERNATIONAL BUILDING CODE AND ALL APPLICABLE BUILDING CODES.
- THE DESIGN PROFESSIONALS SHALL HAVE NO CONTROL OVER NOR RESPONSIBILITY FOR THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES, OR PROCEDURES IN PERFORMING THE WORK, SITE SAFETY, OR SAFETY PROGRAMS IN CONNECTION WITH THE WORK. THESE ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUTIONS AS REQUIRED BY ANY REGULATORY AGENCIES.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR WALL AND DOOR OPENINGS. REFER TO ELECTRICAL AND PLANS FOR SIZE AND LOCATION OF ALL OPENINGS FOR DUCTS, PIPING, CONDUCTS, ETC. NOT SHOWN.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF DEPRESSED FLOOR AREAS, FLOOR DRAINS, CMU COURSING AND ANY OTHER DETAILS NOT SHOWN ON THESE DRAWINGS.

BUILDING DESIGN CRITERIA:

- STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING:
 - 2021 INTERNATIONAL BUILDING CODE
 - MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE-7-16)
- THE FOLLOWING MINIMUM DESIGN LOADS APPLY TO THIS PROJECT:
 - RISK CATEGORY III
 - A. FLOOR LIVE LOAD = 100 PSF (ASSEMBLY - MOVEABLE SEATS) PER 2021 INTERNATIONAL BUILDING CODE
 - B. ROOF LIVE LOAD = 20 PSF PER 2021 INTERNATIONAL BUILDING CODE
 - C. GROUND SNOW LOAD $P_g = 10$ psf PER 2021 INTERNATIONAL BUILDING CODE.
 - D. WIND LOADS PER ASCE 7-16:
 - ULTIMATE DESIGN WIND LOAD: $V_{ult} = 139$ MPH
 - NOMINAL DESIGN WIND SPEED: $V_{asd} = 108$ MPH
 - WIND IMPORTANCE FACTOR: $I_w = 1.15$
 - WIND EXPOSURE CATEGORY B
 - E. SEISMIC LOADS PER 2021 INTERNATIONAL BUILDING CODE:
 - SEISMIC IMPORTANCE FACTOR = 1.25
 - SITE CLASS D (ASSUMED)
 - SEISMIC RESPONSE COEFFICIENTS:
 - $\rho_{ps} = .485g$
 - $\rho_{p1} = .255g$
 - SEISMIC DESIGN CATEGORY D
 - EQUIVALENT LATERAL FORCE PROCEDURE PER 2021 IBC

CONCRETE:

- ALL CONCRETE AND REBAR SHALL BE INSTALLED ACCORDING TO STANDARDS SET FORTH BY THE LATEST EDITION OF ACI - 318.
- 28 DAY CONCRETE MINIMUM COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS: FOOTINGS AND SLABS = 3000 PSI MIN. NO CALCIUM CHLORIDE SHALL BE USED IN MIX.
- THE CONTRACTOR SHALL TAKE ADDITIONAL PRECAUTIONS WHEN CONCRETE IS TO BE PLACED AND CURED DURING COLD AND HOT WEATHER IS ADVISED THAT THE CONTRACTOR FOLLOW THE RECOMMENDATIONS PRESCRIBED BY AMERICAN CONCRETE INSTITUTE FOR COLD AND HOT WEATHER CONSTRUCTION.
- NO WATER SHALL BE ADDED TO THE CONCRETE AT THE SITE UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
- REINFORCING STEEL MEETING REQUIREMENTS OF ASTM A615 GRADE 60 DEFORMED SHALL BE PLACED AND HANDLED PER CONCRETE REINFORCING INSTITUTE 'MANUAL OF STANDARD PRACTICE.' REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR DISTANCE OF 3' FROM SIDES AND BOTTOM, AND 2' FROM TOP OF FOOTING UNLESS OTHERWISE NOTED.
- PROVIDE PROPERLY TIED SPACERS, CHAIRS, BOLSTERS, ETC. AS REQUIRED AND NECESSARY TO ASSEMBLE, PLACE, SUPPORT, ALL REINFORCING USE WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI RECOMMENDATIONS. USE PLASTIC TIP LEGS ON ALL EXPOSED CONCRETE.

STRUCTURAL AND MISCELLANEOUS STEEL

- ALL FRAMING AND MISCELLANEOUS STEEL SHALL BE FILLET WELDED ALL AROUND UNLESS OTHERWISE NOTED. WELD SIZE SHALL BE THE MAXIMUM AS ALLOWED BY THE LATEST EDITION OF 'THE MANUAL OF STEEL CONSTRUCTION' BASED ON THE MATERIAL THICKNESS.
- THE STRUCTURAL STEEL CONTRACTOR SHALL LOCATE, DESIGN AND PROVIDE WEB REINFORCEMENT AT ALL OPENINGS IN STEEL MEMBERS INCLUDING BEAMS, JOISTS, AND GIRDERS.
- ALL STRUCTURAL STEEL SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF ASTM-A36, UNLESS OTHERWISE NOTED. STEEL PIPES SHALL CONFORM TO ASTM A-501. STEEL TUBES SHALL CONFORM TO ASTM A-500.
- SHOP AND FIELD CONNECTIONS NOT SPECIFICALLY DETAILED ON THE DRAWINGS MAY BE WELDED OR BOLTED. CUTS, HOLES, COPING, ETC. REQUIRED FOR WORK OF OTHER TRADES SHALL BE SHOWN ON SHOP DRAWINGS AND FABRICATED IN THE SHOP. FIELD CUTTING AND/OR BURNING IS NOT PERMITTED WITHOUT APPROVAL OF ENGINEER.
- ALL WELDING SHALL BE DONE WITH E-70XX ELECTRODES.
- ALL STEEL DETAILS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE A.I.S.C. SPECIFICATIONS.

METAL DECKING - HVAC ENCLOSURE SHED

- DECKING CONTRACTOR TO COORDINATE OPENING SIZES AND LOCATIONS FROM ARCHITECTURAL AND MECHANICAL DRAWINGS. METAL DECK SHALL CONFORM TO ASTM A446 AND A525.
- ALL METAL ROOF DECKING SHALL BE 1-1/2' - TYPE '15B' - 24 GAGE BY VULCRAFT OR EQUAL.

WOOD FRAMING - CATWALK GUARDRAILS:

- STRUCTURAL FRAMING SHALL BE #2 SOUTHERN YELLOW PINE WITH MINIMUM VALUES:
 - $F_b = 1,200$ psi
 - $F_t = 650$ psi
 - $E = 1,600,000$ psi
 - $F_v = 90$ psi
 - F_c parallel = 1550 psi
 - F_c perpendicular = 565 psi

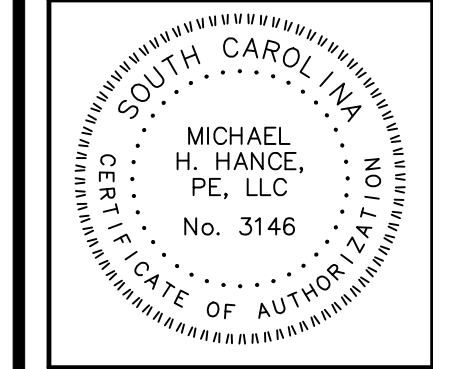
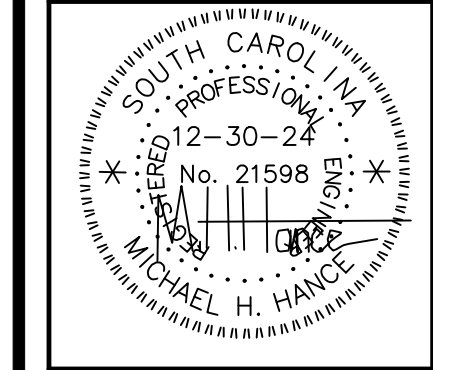
SPECIAL INSPECTIONS:

SPECIAL INSPECTIONS TO BE REQUIRED FOR THE FOLLOWING:

- SECTION 1704
REQUIRED SPECIAL INSPECTIONS AND TESTS, CONTRACTOR RESPONSIBILITY AND STRUCTURAL OBSERVATION.
 - A. 1704.6 - STRUCTURAL OBSERVATIONS
1704.6.1 - STRUCTURE IS RISK CATEGORY III
- SECTION 1705
REQUIRED SPECIAL INSPECTIONS AND TESTS
 - A. 1705.12.3 - WIND RESISTING COMPONENTS:
PERIODIC SPECIAL INSPECTION OF ROOF COVERING AND ROOF DECKING)

rev.	date	approved

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SCALE: AS SHOWN
DRAWN: MHH
DESIGN: MHH
APP'D: MHH
DEPT.: STRUCTURAL

PROJECT WELDON AUDITORIUM 7 MAPLE STREET MANNING, SC	TITLE NOTES & SPECIFICATIONS
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WELDON AUDITORIUM
DWG NO: S-9
DATE: January 31, 2025