

ADDENDUM NO. 2*Renovation Services for*
WELDON AUDITORIUMManning, South Carolina
Meadors Project No. 21-0024
Clarendon County Project No. ITB 2024-014**DATE OF ISSUE: March 21st, 2025****PREPARED BY:****ARCHITECT:**Meadors, Inc.
2811 Azalea Drive
Charleston SC, 29405
(843) 723-8585

TO ALL OFFERORS: This Addendum modifies the Proposal Documents only in the manner and to the extent stated herein and shown on any accompanying drawings and will become a part of the Proposal Documents. Except as specified or otherwise indicated by this Addendum, all work shall be in accordance with the basic requirements of the Proposal Documents.

This Addendum consists of TWELVE (12) pages, the following enclosures, and addresses the questions received to date:

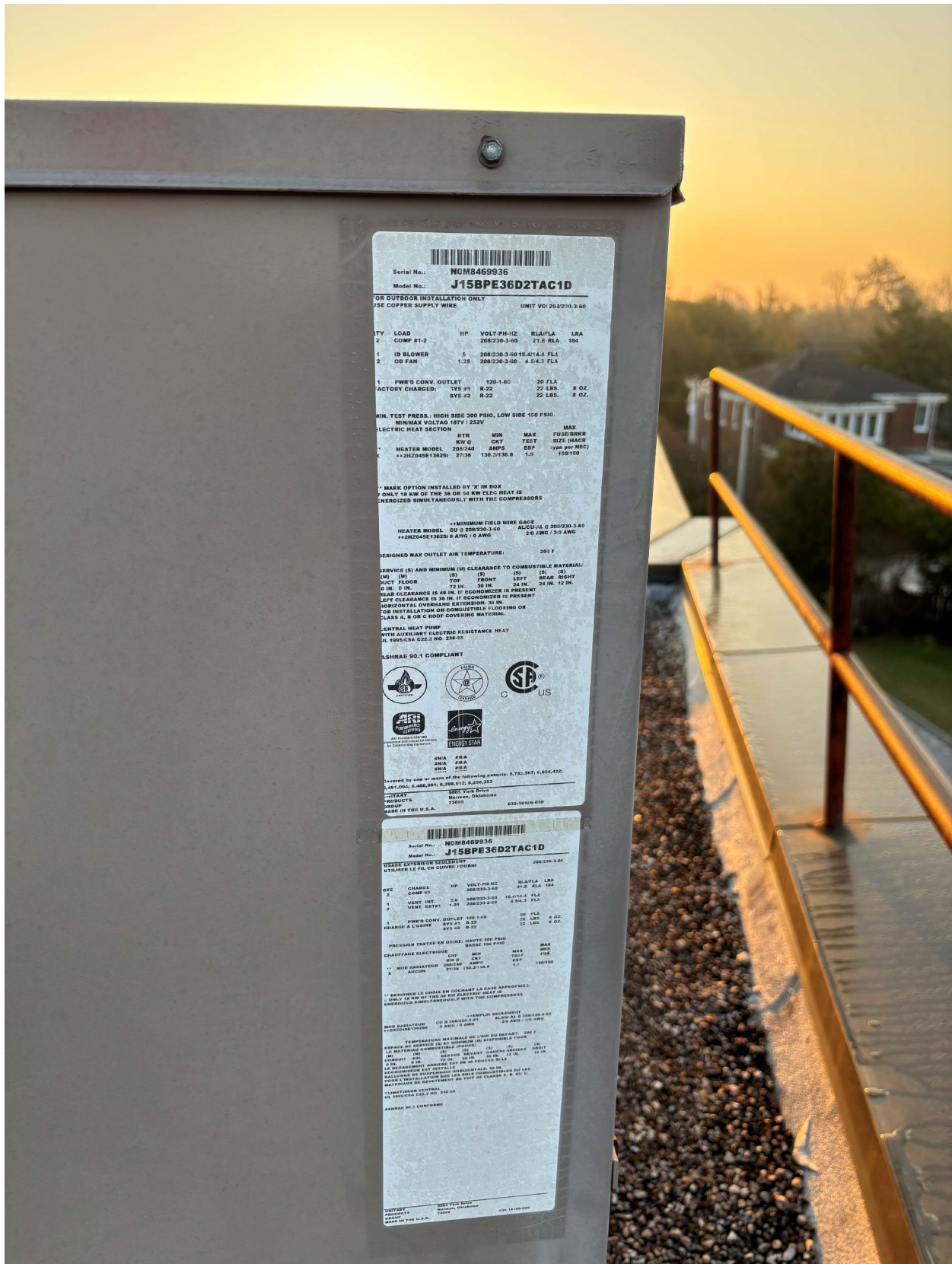
I. ENCLOSURES:

1. Bid Drawing Set Revision 1 – HVAC, Sheet List, & Scope Update
 - a. A000 – Cover/Title Sheet
 - b. A001 – Revision Sheet List
 - c. A003 – Scope of Work Notes & Wall Type Legend
 - d. A101-E – First Floor Plans & RCP – Existing
 - e. A101-P – First Floor Plan – Proposed
 - f. A102-E – First Floor RCP – Existing
 - g. A111-E – Second Floor RCP – Existing
 - h. M1 – Proposed Architectural HVAC Plan
 - i. M2 – Proposed Architectural HVAC Plan
2. Pre-Bid Meeting Agenda
3. Pre-Bid Meeting Sign-In Sheet

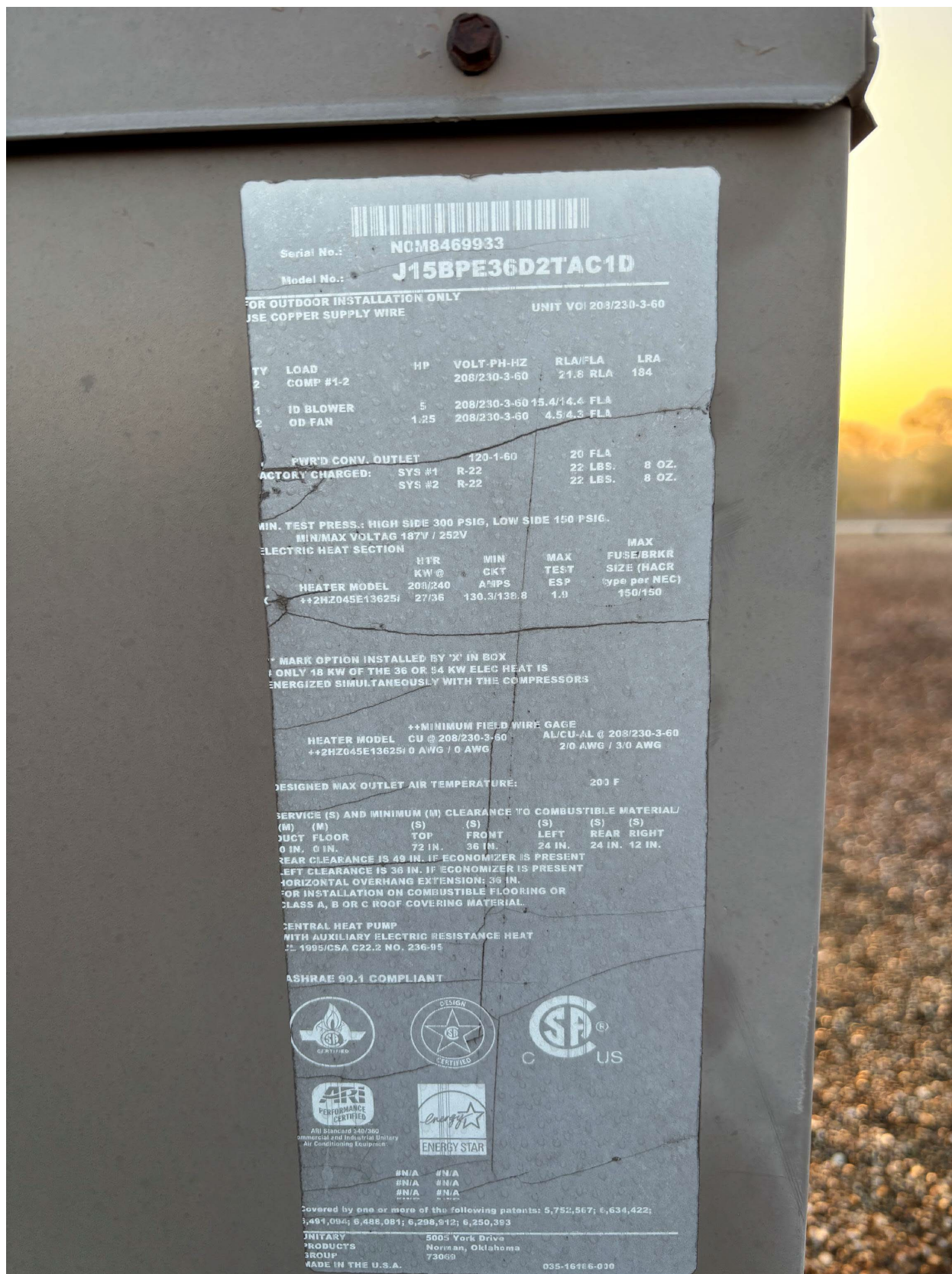
II. GENERAL INFORMATION / CLARIFICATIONS:

1. ITB General Questions
 - a. **Question:** Do you have the data plate info for the RTUs?
 - i. **Response:** Owner has requested that mini-split units CU-1 – CU-5 to be included in the base bid in kind replacement scope of work. Mini-split units CU-1 – CU-5 are to be removed and install new equally compliant units. Available data plate photos are provided below for all units selected to be removed and new equally compliant units to be installed. Refer to sheets M1 & M2 in the Bid Drawing packet for the corresponding units.

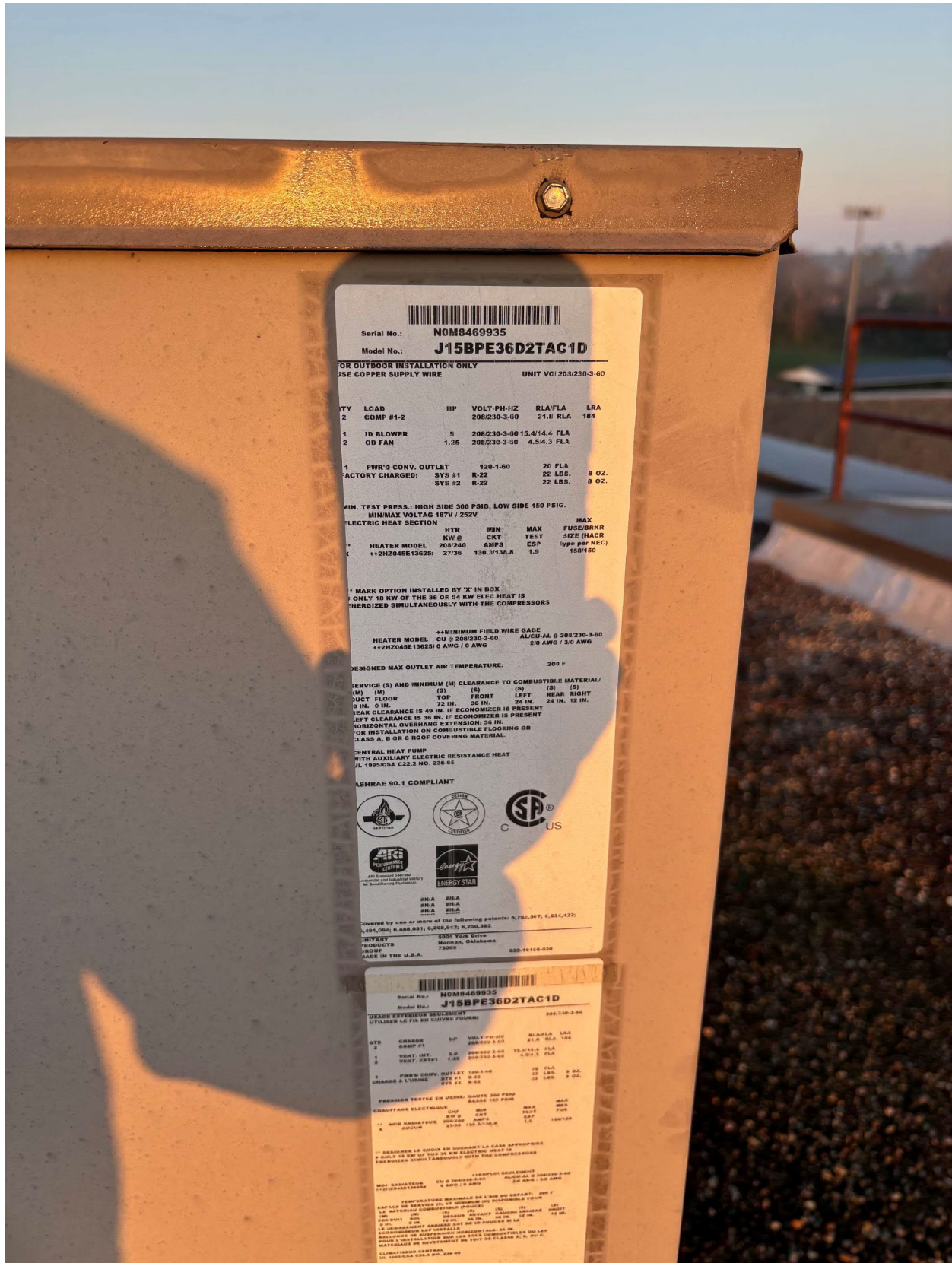
a. RTHP-1:



b. RTHP-2:



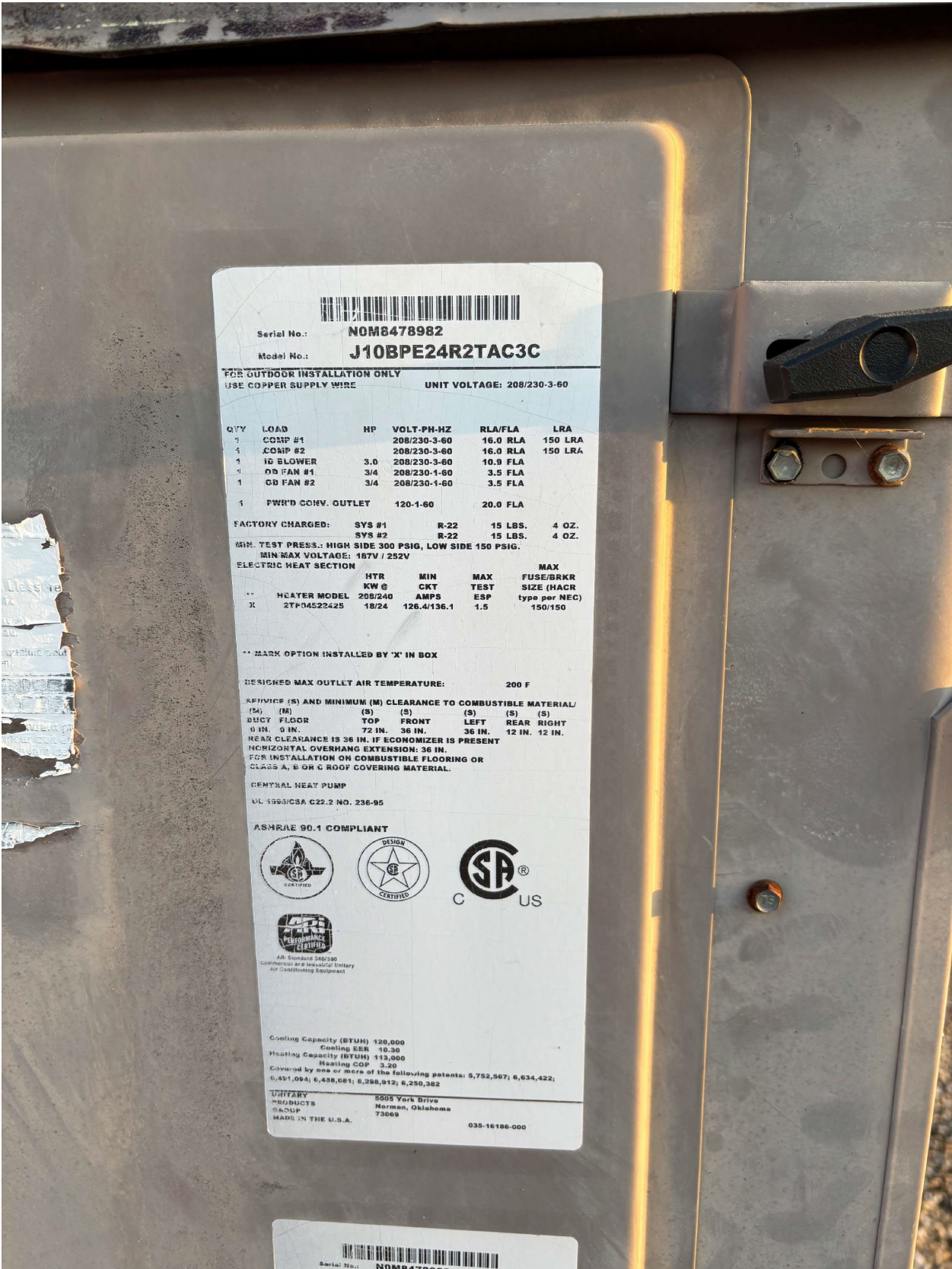
c. RTHP-3:



d. RTHP-4:



e. RTHP-5:



f. RTHP-6:

Serial No.: **NOM8478983**
Model No.: **J10BPE24E2TAC3C**

FOR OUTDOOR INSTALLATION ONLY
USE COPPER SUPPLY WIRE **UNIT VOLTAGE: 208/230-3-60**

QTY	LOAD	HP	VOLT-PH-HZ	RLA/FLA	LRA
1	COMP #1		208/230-3-60	16.0 RLA	150 LRA
1	COMP #2		208/230-3-60	16.0 RLA	150 LRA
1	ID BLOWER	2.0	208/230-3-60	8.2 FLA	
1	OD FAN #1	3/4	208/230-1-60	3.5 FLA	
1	OD FAN #2	3/4	208/230-1-60	3.5 FLA	
1	PWR'D CONV. OUTLET	120-1-60		20.0 FLA	

FACTORY CHARGED: SYS #1 R-22 15 LBS. 4 OZ.
SYS #2 R-22 15 LBS. 4 OZ.

MIN. TEST PRESS.: HIGH SIDE 300 PSIG, LOW SIDE 150 PSIG.
MIN/MAX VOLTAGE: 187V / 252V

ELECTRIC HEAT SECTION

	HTR	MIN	MAX	MAX
	KW @	CKT	TEST	FUSE/BRKR
** HEATER MODEL	208/240	AMPS	ESP	SIZE (HACR)
X TYP04522425	18/24	123.7/133.4	1.0	type per NEC, 125/150

**** MARK OPTION INSTALLED BY 'X' IN BOX**

DESIGNED MAX OUTLET AIR TEMPERATURE: 200 F



SERVICE (S) AND MINIMUM (M) CLEARANCE TO COMBUSTIBLE MATERIAL:

(M)	(M)	(S)	(S)	(S)	(S)
DUCT	FLOOR	TOP	FRONT	LEFT	REAR
0 IN.	0 IN.	72 IN.	36 IN.	36 IN.	12 IN.
					12 IN.

REAR CLEARANCE IS 36 IN. IF ECONOMIZER IS PRESENT
HORIZONTAL OVERHANG EXTENSION: 36 IN.
FOR INSTALLATION ON COMBUSTIBLE FLOORING OR CLASS A, B OR C ROOF COVERING MATERIAL.

CENTRAL HEAT PUMP
UL 1995/CSA C22.2 NO. 236-95

ASHRAE 90.1 COMPLIANT

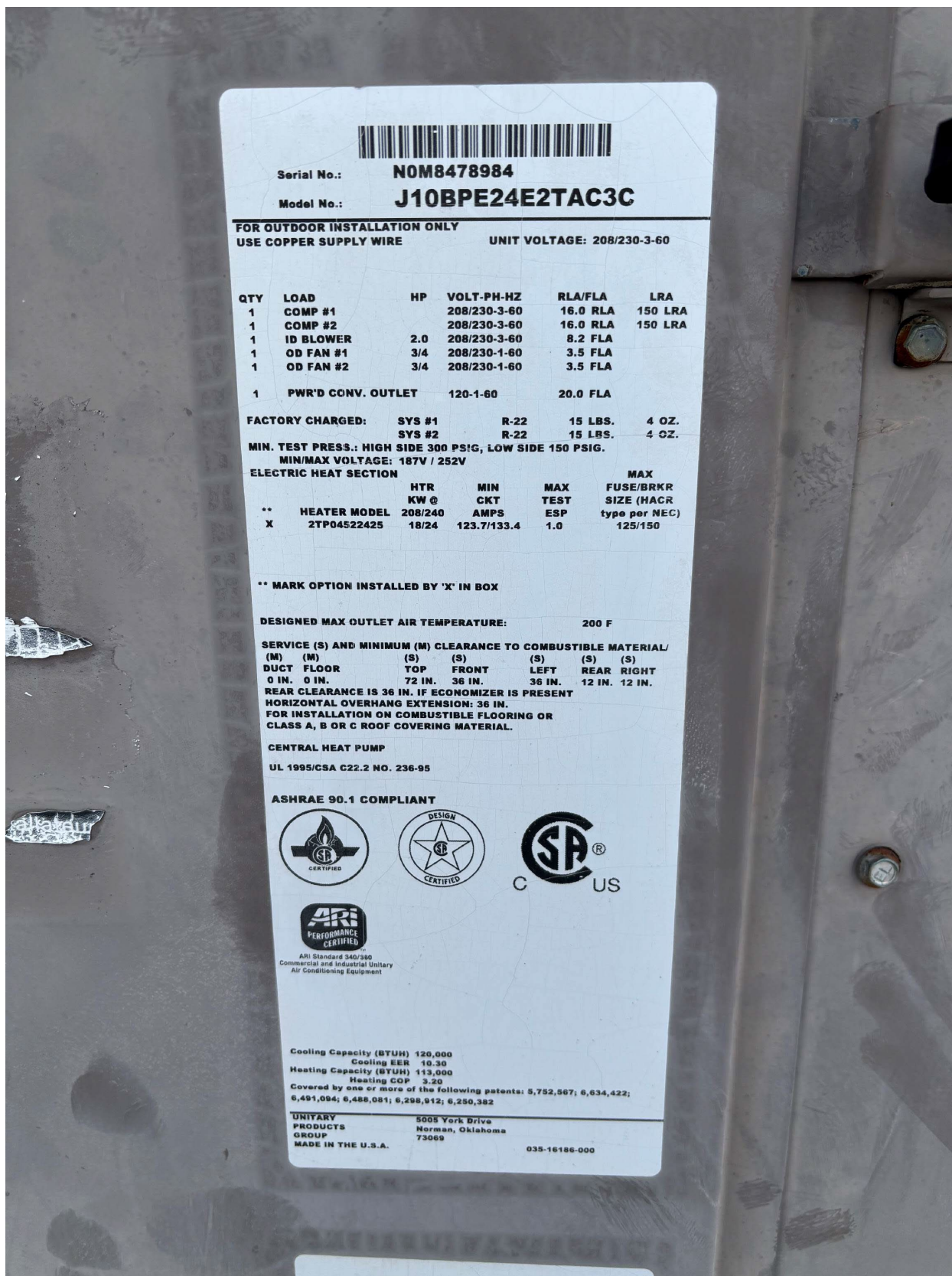
  

ARI PERFORMANCE CERTIFIED
ARI Standard 340/340
Commercial and Industrial Units
Air Conditioning Equipment

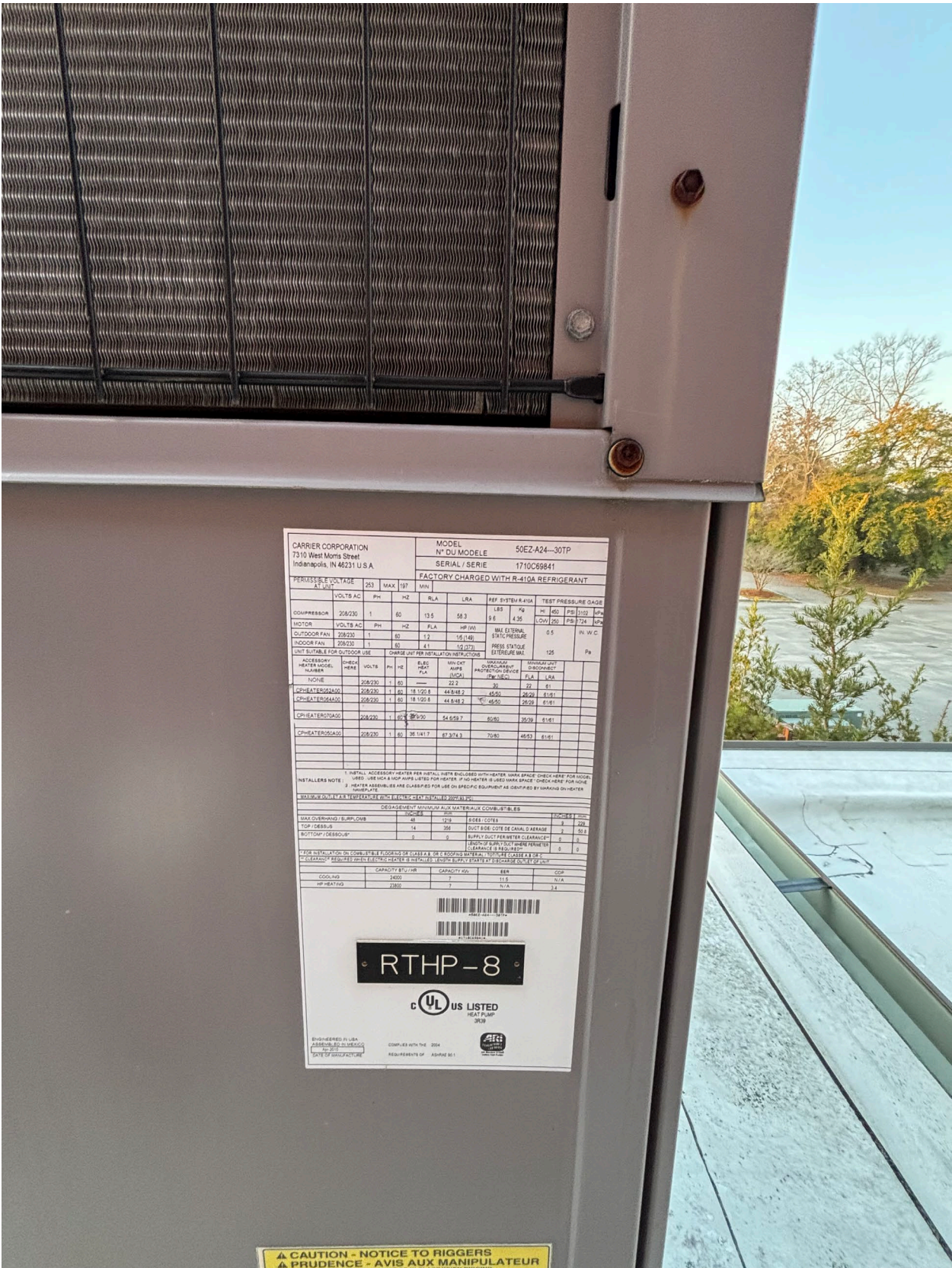
Cooling Capacity (BTUH) 120,000
Cooling EER 10.30
Heating Capacity (BTUH) 115,000
Heating COP 3.20
Covered by one or more of the following patents: 5,752,567; 6,634,422;
6,491,094; 6,488,081; 6,298,912; 6,250,382

UNITARY PRODUCTS GROUP
MADE IN U.S.A.
5005 York Drive
Norman, Oklahoma
73069

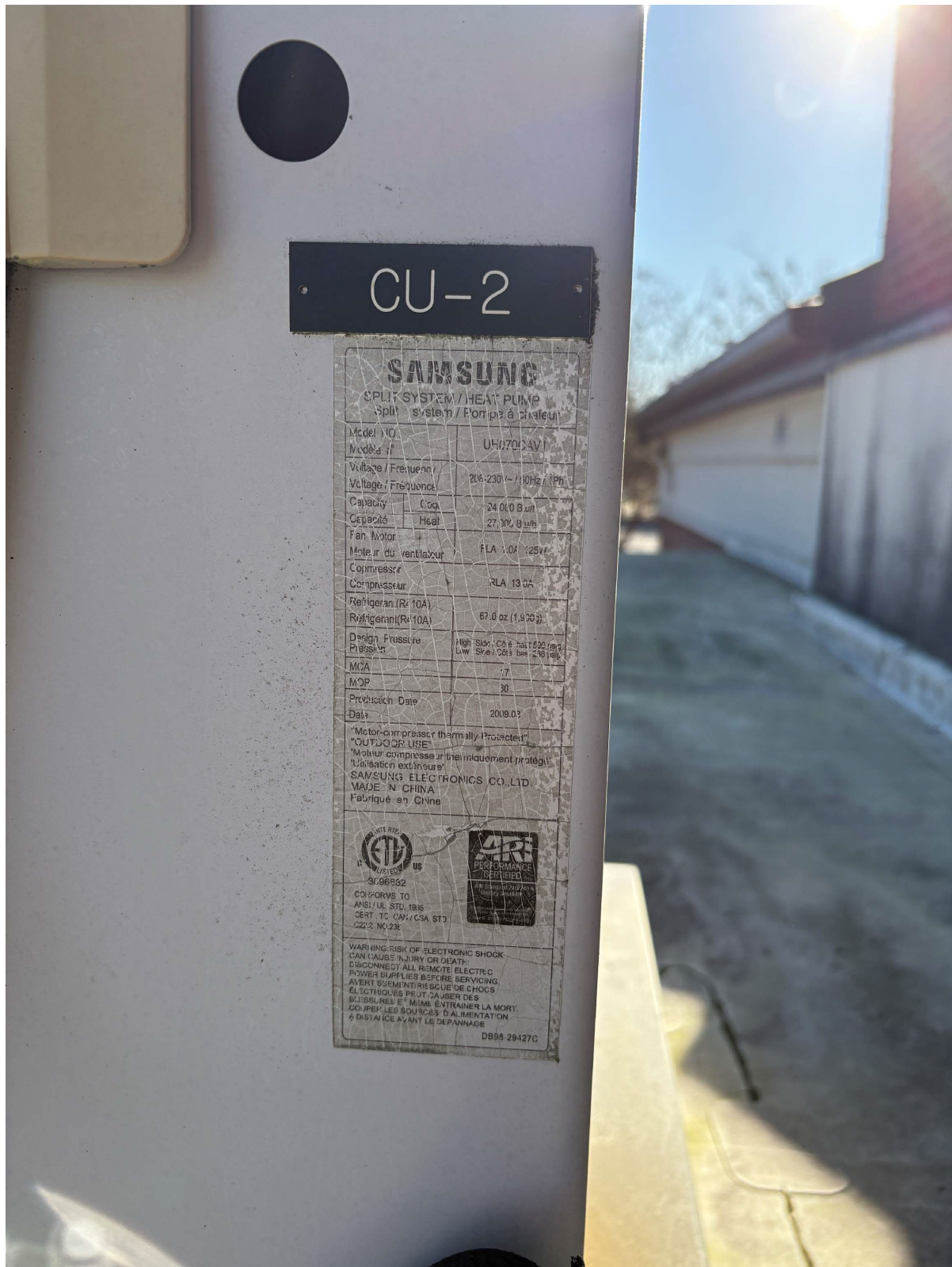
g. RTHP-7:



h. RTHP-8:



- i. CU-1
 - i. No Data plate information available
- j. CU-2



- k. CU-3
 - i. No Data plate information available
- l. CU-4
 - i. No Data plate information available
- m. CU-5
 - i. No Data plate information available
- b. **Question:** Since no electrical drawings were issued, there are concerns with changing the existing auditorium lighting to LED lights and that causing problems with the existing dimmer system.
 - i. **Response:** An electrical engineer was not hired for this project so there are no E sheets stamped by a licensed engineer. The lighting direction in the auditorium has changed from updating all lights to LED fixtures to relamping all existing ceiling lights & downlights at the infill windows in the auditorium & inspecting for proper function. See the attached drawings for Revision 1 changes.
- c. **Question:** There are concerns on pricing the electrical scope and the available length of the electrical cable after removing 8 HVAC units and adding extensions to the curbs.
 - i. **Response:** An electrical engineer was not hired for this project so there are no E sheets stamped by a licensed engineer. Owner has requested that mini-split units CU-1 – CU-5 are to be included in the base bid in kind replacement scope of work. There are 8 RTHP units and 5 mini-split units scheduled to be removed and replaced in kind. Refer to sheets M1 & M2 in the Bid Drawing packet for the corresponding units. In total, all HVAC units including various units over the Breedin Garden room, 8 RTHP units to be replaced in kind, and 5 mini split units to be replaced in kind are to be placed on raised curb adapters as needed with the new roofing system. No roof top unit is expected to be raised higher than 8". Mechanical contractor is to assume top mounted disconnects on mini-split units can be adjusted in height as needed for units being raised. See the attached drawings for Revision 1 changes.
- d. **Question:** Without information regarding the existing units and in order to match for new units at this late date, it might be difficult to price by bid date.
 - i. **Response:** A mechanical engineer was not hired for this project so there are no M sheets stamped by a licensed engineer. Owner has requested that mini-split units CU-1 – CU-5 to be included in the base bid in kind replacement scope of work. Mini-split units CU-1 – CU-5 are to be removed and install new equally compliant units. Available data plate photos are provided above for all units selected to be removed and new units to be installed. Refer to sheets M1 & M2 in the Bid Drawing packet for the corresponding units.
- e. **Question:** There are concerns of receiving the new units in time for your planned function in September as the auditorium will need to be fully scaffold for the Electrical Sub, HVAC Sub, Plaster Sub, and Painting Sub to use because of the sloped floor.
 - i. **Response:** This question will be addressed in a future addendum.
- f. **Question:** Really can't start working on the interior work until the new roofs are completed which seriously depends on the SC summer rains this year which means 8 months might not be long enough.
 - i. **Response:** The County is interested in completing the project in an efficient and timely manner. However, please demonstrate a preliminary timeline for the project for the County to discern.

- g. **Question:** Drawing A202-P Note 1 states “Repoint 100% of hatched masonry”. Is the darker colored brick considered hatched or is it shadows?
- i. **Response:** The hatched masonry referred to on drawing A202-P Note 1 can be seen when viewing the drawing packet digitally or when printed in color.

III. CHANGES TO SPECIFICATIONS:

1. None

IV. CHANGES TO DRAWINGS:

1. A000 – Cover/Title Sheet
2. A001 – Revision Sheet List
3. A003 – Scope of Work Notes & Wall Type Legend
4. A101-E – First Floor Plans & RCP – Existing
5. A101-P – First Floor Plan – Proposed
6. A102-E – First Floor RCP – Existing
7. A111-E – Second Floor RCP – Existing
8. M1 – Proposed Architectural HVAC Plan
9. M2 – Proposed Architectural HVAC Plan

V. PROJECT SCHEDULE:

1. Monday, March 3, 2025: Bidding period begins
2. Tuesday, March 18, 2025: Pre-bid meeting on site at 10:00 a.m.
3. Monday, March 31, 2025: Deadline for questions by 1:00 p.m.
4. Tuesday, April 08, 2025: Bid due by 2:00 p.m.
5. Monday, April 21, 2025: Bid accepted (tentatively)
6. Construction Start: June, 2025

VI. PREVIOUS ADDENDA:

1. Addendum No. 1: Issued March 14, 2025

END OF ADDENDUM

WELDON AUDITORIUM RENOVATIONS

CONTACTS

Client:

Clarendon County
411 Sunset Dr.
Manning, SC 29102

Thom Barrineau
Director of Facility Operations
803.433.3223

Architect:

Meadors Inc.
PO Box 21758
Charleston, South Carolina 29413
Tel: 843.723.8585

Jeremy Tate, AIA
Project Architect
Email: jeremy@meadorsinc.com

Jon Pennington, Assoc. AIA
Project Designer
Email: jonp@meadorsinc.com

Structural Engineer:

Michael H. Hance, PE LLC
1133 Club Terrace
Mt. Pleasant, SC 29464
Tel: 843.856.2649

Civil Engineering Consultant:

Hunter McLeod, E.I.T
GEL Engineering, LLC
2040 Savage Road
Charleston, SC 29407
Tel: 843.769.7378

Hazardous Materials Consultant:

Sarah Browning, E.I.T., C.I.E.C.
GEL Engineering, LLC
2040 Savage Road
Charleston, SC 29407
Tel: 843.769.7378

PROJECT DATA

1. General Information:

Address:

7 Maple St.
Manning, SC 29102

TMS number(s):

170-13-07-001-00

Flood Zone:

X - outside the 0.2% annual chance floodplain
(FEMA Flood Panel 45027C0254C)

Zoning Class:

EXCG - Exempt County Government

Site Area:

3.99 Acre (174,004 sf)

2. Site & Property Information

taken from a 3D scan of the site performed by Meadors Inc. on 09/08/2023 and survey dated 1/31/2006 by Robert G. Mathis Land Surveying. Courtyard survey performed 08.16.2024 by GEL Engineering, LLC

3. Zoning Requirements: N/A *No new construction outside existing footprint

Rear Setback: N/A
Side Setbacks: N/A
Front Setback: N/A
Building Height: N/A
Accessory Building Side & Rear Setback: N/A
Accessory Building Front Setback: N/A
Max. Building Coverage: N/A

4. Building Information:

Mixed Use and Occupancy: Assembly, Business
Construction Type: III-B

5. Building Size:

Existing Lot Building Coverage: 36,861 sf (21%)

DRAWING LIST

A000 COVER/TITLE SHEET

A001 REVISION SHEET LIST

A002 NOTES, SYMBOLS, AND ABBREVIATIONS

A003 SCOPE OF WORK NOTES & WALL TYPE LEGEND

A006 SITE PLAN

A007 SCOPE OF WORK PLAN

A009 SITE PLAN - EXISTING COURTYARD

A010 SITE PLAN - PROPOSED COURTYARD

A101-D FIRST FLOOR PLAN - DEMOLITION

A101-E FIRST FLOOR PLANS & RCP - EXISTING

A101-P FIRST FLOOR PLAN - PROPOSED

A102-E FIRST FLOOR RCP - EXISTING

A111-E SECOND FLOOR RCP - EXISTING

A121-P PROPOSED ATTIC PLAN

A122-P PROPOSED ROOF PLAN

A123-P PROPOSED ROOF PLAN

A124-P PROPOSED ROOF PLAN

A125-P PROPOSED ROOF PLAN

A131-P PROPOSED GUTTER & DOWNSPOUT PLAN

A132-P PROPOSED GUTTER & DOWNSPOUT PLAN

A133-P PROPOSED GUTTER & DOWNSPOUT PLAN

A201-D NORTH & SOUTH ELEVATIONS - DEMOLITION

A201-P NORTH & SOUTH ELEVATIONS - PROPOSED

A202-D EAST & WEST ELEVATIONS - DEMOLITION

A202-P EAST & WEST ELEVATIONS - PROPOSED

A203-D GYM - ELEVATIONS - DEMOLITION

A203-P GYM - ELEVATIONS - PROPOSED

A204-D COURTYARD - N & S ELEVATION - DEMOLITION

A204-P COURTYARD - N & S ELEVATION - PROPOSED

A205-P COURTYARD - SOUTH ELEVATION - PROPOSED

A206-D COURTYARD - EAST & WEST ELEVATION - DEMOLITION

A206-P COURTYARD - EAST & WEST ELEVATION - PROPOSED

A301-P BUILDING SECTIONS - PROPOSED

A302-P BUILDING SECTIONS - PROPOSED

A303-P BUILDING SECTIONS - PROPOSED

A401 WALL SECTIONS & DETAILS

A402 WALL SECTIONS & DETAILS

A403 WALL SECTIONS & DETAILS

A404 WALL SECTIONS & DETAILS

A421 HVAC ENCLOSURE

A501 ROOF DETAILS

A502 ROOF DETAILS

A503 ROOF DETAILS

A504 ROOF DETAILS

A505 ROOF DETAILS

APPENDIX 1 WELDON AUDITORIUM COURTYARD SURVEY

M1 PROPOSED ARCHITECTURAL HVAC PLAN

M2 PROPOSED ARCHITECTURAL HVAC PLAN

S-1 CRTYRD. DRAINAGE KEY PLAN

S-2 DRAINAGE ARMORY PLAN

S-3 INFILL WINDOW LINTEL PLAN

S-4 WINDOW LINTEL SECTIONS

S-5 CATWALK GUARDRAIL PLAN

S-6 CATWALK GUARDRAIL SCTNS.

S-7 ROOF HATCH GUARDRAIL

S-8 HVAC ENCLOSURE SHED

CODE NOTES

This scope of work shall maintain code compliance with the following codes as adopted by the South Carolina Building Codes Council:

2021 South Carolina Building Code
or the 2021 International Building Code with SC modifications

2021 South Carolina Fire Code
or the 2021 International Fire Code with SC modifications

2021 South Carolina Plumbing Code
or the 2021 International Plumbing Code with SC modifications

2021 South Carolina Mechanical Code
or the 2021 International Mechanical Code with SC modifications

2021 South Carolina Fuel Gas Code
or the 2021 International Fuel Gas Code with SC modifications

2020 National Electrical Code (NFPA 70) with SC modifications

2021 International Existing Building Code

2009 International Energy Conservation Code (Energy Standard Act)
or the 2009 Energy Conservation Code of South Carolina

ANSI A117.1 2017 Edition - Accessible & Usable Buildings & Facilities

Federal Emergency Management Agency (FEMA)

PROJECT SUMMARY

WELDON AUDITORIUM WAS BUILT IN 1954 AND IS A VENUE FOR COMMUNITY EVENTS IN CLARENDON COUNTY. THE BUILDING IS APPROXIMATELY 19,472 sq. ft. AND UNDERWENT ADDITIONS, ALTERATIONS, AND INTERIOR RENOVATIONS IN 2008. THE SCOPE OF THIS 2025 RENOVATION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

REMOVAL OF EXISTING ROOF MATERIAL DOWN TO ROOF DECK

INSTALLATION OF NEW INSULATION, TAPERED INSULATION, COVER BOARD, AND 2-PLY SBS ROOF MEMBRANE

REMOVAL OF CONCRETE & METAL PARAPET CAPS TO BE REPLACED WITH NEW METAL CAPS

INSTALLATION OF NEW GUTTERS AND REROUTING DRAINAGE AWAY FROM EXISTING ROOFS

INSTALLATION OF PROPER MASONRY EXPANSION AND CONTROL JOINTS AT OUTSIDE AND RE-ENTRANT CORNERS OF THE AUDITORIUM

REWORK OF EXISTING ROOFTOP PIPE CHASE HOUSINGS RELATIVE TO HVAC UNITS AND ELECTRICAL CONDUITS TO PROVIDE A WATERTIGHT ENVELOPE

REMOVAL OF EXISTING ACCESS LADDERS AND INSTALL NEW WALL MOUNTED ACCESS LADDERS, INCLUDING ONE FROM GRADE WITH SECURITY PROVISIONS

REMOVAL OF EXISTING EIFS FINISH ON EXTERIOR OF BUILDING AND REPLACE WITH HARDIE PANEL OR SIMILAR

SEE THE DRAWINGS AND SPECIFICATIONS HEREIN FOR FULL SCOPE OF WORK

REFERENCES

FIELD INVESTIGATION REPORT DATED 11.24.2021

WELDON AUDITORIUM ASSESSMENT REPORT DATED 02.18.2022

WELDON AUDITORIUM COURTYARD SURVEY DATED 06.26.2024

COMPREHENSIVE ASBESTOS & LEAD INSPECTION REPORT DATED 07.03.2024

WELDON AUDITORIUM PROJECT MANUAL

GENERAL SPECIFICATIONS

THIS DRAWING SET IS TO BE PAIRED WITH PROVIDED OUTLINE SPECIFICATIONS DOCUMENT. NEITHER THE DRAWINGS OR THE OUTLINE SPECIFICATIONS DOCUMENT ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. BOTH THE DRAWINGS AND THE OUTLINE SPECIFICATIONS DOCUMENTS ARE TO BE CONSIDERED IN THE SCOPE OF WORK FOR THIS PROJECT.

ADDITIONAL NOTES:

*** Contractor is responsible to verify all dimensions and relevant bidding criteria.

LOCATION MAP

COVER/TITLE SHEET

A000

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585

Architecture ■ Construction ■ Design Services ■ Cabinetry & Millwork ■ Conservation & Preservation Planning ■ Estate Management

STATE OF SOUTH CAROLINA

JEREMY M. TATE

Charleston, SC

No. 9388

REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA

MEADORS, INC.

Charleston, SC

100192

REGISTERED ARCHITECTS

WELDON AUDITORIUM RENOVATIONS

7 Maple Street
Manning, SC 29102

PERMIT

PROJ. NO. 21-0053

ISSUE DATE: 01/31/25

REVISIONS

#

DATE

NOTES

1

3.21.2025

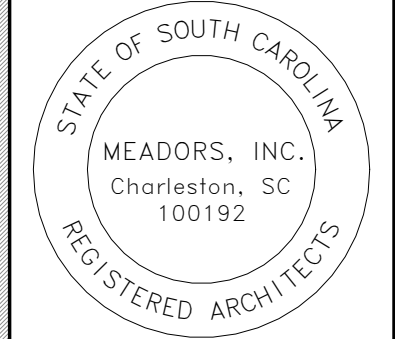
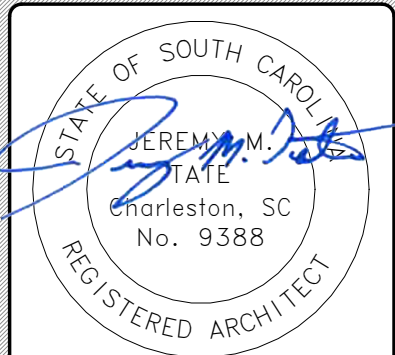
HVAC, SHEET LIST, & SCOPE UPDATE

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SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"X36"

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REVISION SHEET LIST				
SHEET NUMBER	SHEET NAME	REVISION NUMBER	REVISION DESCRIPTION	DATE ISSUED
A000	COVER/TITLE SHEET	1	HVAC, SHEET LIST, & SCOPE UPDATE	3.21.2025
A001	REVISION SHEET LIST	1	HVAC, SHEET LIST, & SCOPE UPDATE	3.21.2025
A003	SCOPE OF WORK NOTES & WALL TYPE LEGEND	1	HVAC, SHEET LIST, & SCOPE UPDATE	3.21.2025
A101-E	FIRST FLOOR PLANS & RCP - EXISTING	1	HVAC, SHEET LIST, & SCOPE UPDATE	3.21.2025
A101-P	FIRST FLOOR PLAN - PROPOSED	1	HVAC, SHEET LIST, & SCOPE UPDATE	3.21.2025
A102-E	FIRST FLOOR RCP - EXISTING	1	HVAC, SHEET LIST, & SCOPE UPDATE	3.21.2025
A111-E	SECOND FLOOR RCP - EXISTING	1	HVAC, SHEET LIST, & SCOPE UPDATE	3.21.2025
M1	PROPOSED ARCHITECTURAL HVAC PLAN	1	HVAC, SHEET LIST, & SCOPE UPDATE	3.21.2025
M2	PROPOSED ARCHITECTURAL HVAC PLAN	1	HVAC, SHEET LIST, & SCOPE UPDATE	3.21.2025



WELDON AUDITORIUM
RENOVATIONS

7 Maple Street
Manning, SC 29102

PERMIT

PROJ. NO. 21-0053
ISSUE DATE: 01/31/25

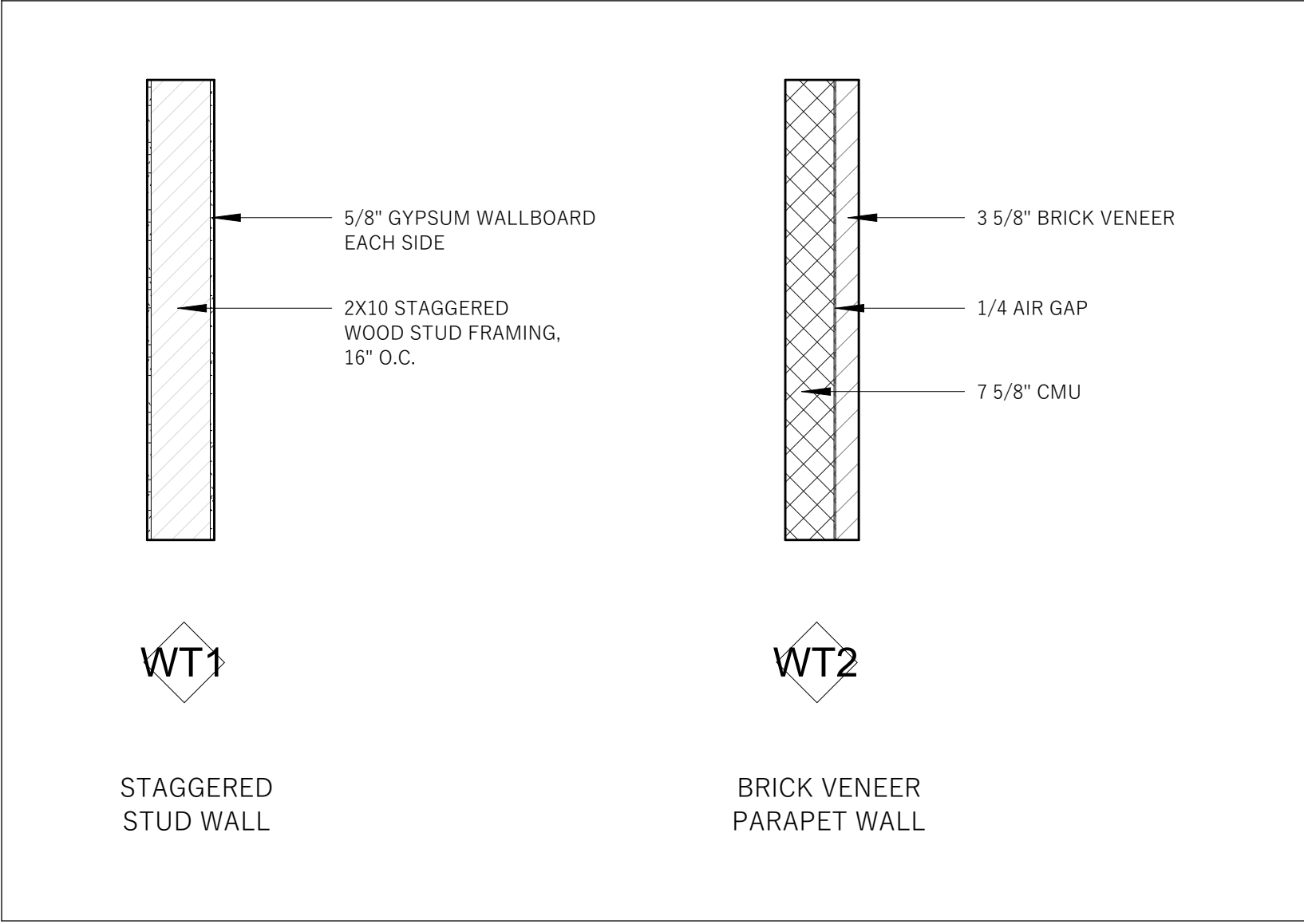
REVISIONS		
#	DATE	NOTES
1	3.21.2025	HVAC, SHEET LIST, & SCOPE UPDATE

REVISION SHEET LIST

1

A001

NEW WALL TYPE LEGEND



EXTERIOR SCOPE OF WORK

- ROOF:
- DEMO EXISTING GRAVEL ROOFS DOWN TO SHEATHING PER SHEET A007
 - DEMO EXISTING MEMBRANE ROOFS DOWN TO SHEATHING PER SHEET A007
 - REMOVE EXISTING ROOF HVAC UNITS AND COORDINATE WITH MECHANICAL CONTRACTOR FOR INSTALL SCHEDULE FOR NEW EQUALLY COMPLIANT UNITS
 - INSTALL NEW SEISMIC CURBS
 - INSTALL NEW 2-PLY SBS MEMBRANE ROOF ASSEMBLY
 - INSTALL NEW ROOF RAILS ON ROOF A & ROOF K
- PARAPET WALL:
- DEMO EXISTING METAL PARAPET CAPS
 - DEMO EXISTING COPING STONES
 - DEMO EXISTING ROOF RAILS
 - INSTALL NEW METAL PARAPET CAPS
 - EXTEND PARAPET WALL HEIGHT SURROUNDING ROOFS C & F
 - REOPEN CLOSED OVERFLOW DRAIN ON ROOF B
- GUTTERS & DOWNSPOUTS:
- INSTALL NEW GUTTERS PER SHEETS A131-A133P
 - INSTALL NEW DOWNSPOUTS PER SHEETS A131-A133P
 - INSTALL NEW CONDUCTOR HEADS PER SHEETS A131P
- MASONRY:
- 100% MASONRY REPOINTING WITH MORTAR AND TOOL JOINT PER SPECIFICATIONS. SEE A2 SHEETS FOR LOCATIONS
 - INSTALL EXPANSION JOINTS AS NOTED ON THE ELEVATIONS AND PER THE SPECIFICATIONS
 - CLEAN ALL MASONRY SURFACES PER SPECIFICATIONS
 - APPLY MASONRY WATER REPELLENT TO ALL BRICK SURFACES PER SPECIFICATIONS
 - FLASH REENTRANT CORNERS
- INFILL WINDOWS:
- REMOVE EXTERIOR EIFS AND SHEATHING DOWN TO METAL FRAMING
 - INSTALL NEW LINTELS OVER INFILL WINDOWS. REFER TO DETAILS ON SHEETS S-3
 - INSTALL NEW SHEATHING AND WEATHER RESISTIVE BARRIER
 - INSTALL NEW CEMENTITIOUS FINISH
- ATTIC:
- REPAIR AND REPAINT EXISTING ATTIC VENTS; SEAL & INSULATE
 - REPAIR AND REPAINT EXISTING ATTIC DOOR
 - LIQUID FLASH ATTIC DOOR
- COURTYARD:
- SCOPE & CLEAN OUT EXISTING DRAINAGE LINES & EXISTING FRENCH DRAIN. REFER TO SHEET A010
 - INSTALL NEW 4" DRAINAGE LINES. REFER TO SHEET A010
 - INSTALL NEW CATCH BASINS. REFER TO SHEET A010
 - REPAIR/REPLACE VINYL SIDING
 - INSTALL NEW AWNING
 - ARMOR OPEN DRAINAGE CHANNEL WITH CONCRETE
 - DEMO BRICK WALL BETWEEN BUILDINGS ENCLOSING THE EXISTING OPEN DRAINAGE CHANNEL
 - INSTALL NEW METAL GATE TO MATCH EXISTING IN STYLE, FINISH, AND HEIGHT
- BUILDING EXTERIOR:
- INSTALL NEW ROOF ACCESS LADDER WITH SECURITY DOOR
 - REPAIR & REPAINT EIFS FINISH AT FRONT ENTRY HANDRAILS
 - SECURE FRONT ENTRY HANDRAILS TO STRUCTURE
 - REPAIR/REPLACE STEP LIGHTS AT FRONT ENTRY
 - REGRADE AROUND ENTIRE BUILDING AS NEEDED TO ALLOW FOR PROPER DRAINAGE AWAY FROM FOUNDATION
 - TRIM BACK ALL TREES
 - REMOVE INVASIVE VINES/SHRUBS THAT HAVE GROWN IN

INTERIOR SCOPE OF WORK

- AUDITORIUM:
- REPAIR DAMAGED WALL PLASTER ALONG SOUTH WALL
 - REPAIR DAMAGED PLASTER CEILING ABOVE METAL CATWALK AND STAGE
 - RELAMP EXISTING AUDITORIUM CEILING LIGHTS & LIGHTS AT THE TOP OF THE INFILL WINDOWS IN KIND
- BALCONY STAIRWELL & BALCONY SEATING:
- REPAIR AND REPAINT DAMAGED PLASTER CEILING
 - REPLACE EXISTING CEILING LIGHTS WITH LED EQUIVALENT
- DRESSING ROOMS & EOC:
- REPAIR AND REPAINT DAMAGED PLASTER CEILING
- STORAGE:
- REMOVE AND REPLACE DAMAGED VCT FLOORING
- NORTH ENTRY:
- REMOVE AND REPLACE DAMAGED VCT FLOORING
 - REPAIR AND REPAINT DAMAGED PLASTER CEILING
- LOWER GALLERY:
- REPAIR AND REPAINT DAMAGED PLASTER CEILING
 - REPAIR AND REPAINT DAMAGED HVAC CHASE
- VESTIBULE:
- INSTALL NEW WALL WITH PASSAGEWAY TO SUPPORT EXISTING BRICK LINTEL
 - REPAIR AND REPAINT DAMAGED GYPSUM CEILING
 - REMOVE AND REPLACE DAMAGED ACT
- UPPER GALLERY:
- REMOVE AND REPLACE DAMAGED ACT
- REAR HALLWAY:
- REMOVE AND REPLACE DAMAGED ACT
- BREEDIN GARDEN ROOM:
- REMOVE AND REPLACE DAMAGED ACT
 - REPAIR DAMAGED EXTERIOR DOOR TRIM
- ATTIC:
- REPLACE ALL CEILING LIGHT FIXTURES WITH LED EQUIVALENT FIXTURES
 - REDECK EXISTING CATWALK WITH PLYWOOD
 - INSTALL OSHA COMPLIANT RAILINGS ON ALL SIDES OF CATWALK

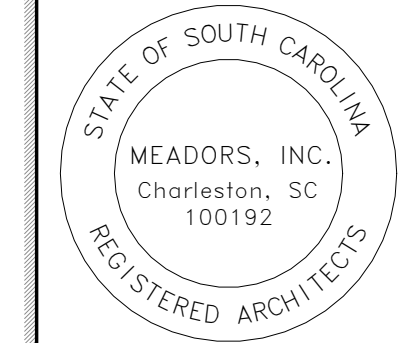
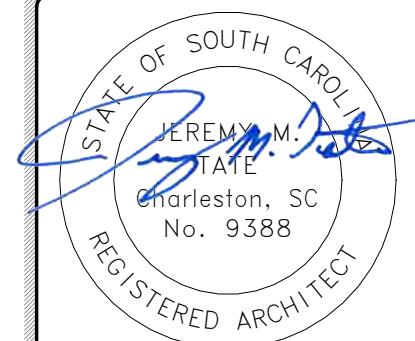
GENERAL CLEANING NOTES

- EXTERIOR CLEANING:
- CLEAN ALL EAVES OF MUD DAUBER NESTS
 - CLEAN/REPAINT ALL METAL EAVES
 - REMOVE ALL BIOGROWTH WITHIN PROJECT SCOPE
 - CLEAN DEBRIS FROM TOP OF AWNINGS AND PATHWAY COVERINGS AROUND THE BUILDING
- INTERIOR CLEANING:
- CLEAN/REPAINT BRICK WALL IN LOWER GALLERY, UPPER GALLERY, REAR HALLWAY, & VESTIBULE
 - REPAIR/REPAINT GYPSUM WALL IN BREEDIN GARDEN ROOM

MEADORS

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WELDON AUDITORIUM
RENOVATIONS

7 Maple Street
Manning, SC 29102

PERMIT

PROJ. NO. 21-0053
ISSUE DATE: 01/31/25

REVISIONS

#	DATE	NOTES
1	3.21.2025	HVAC, SHEET LIST, & SCOPE UPDATE

SCOPE OF WORK
NOTES & WALL
TYPE LEGEND

A003

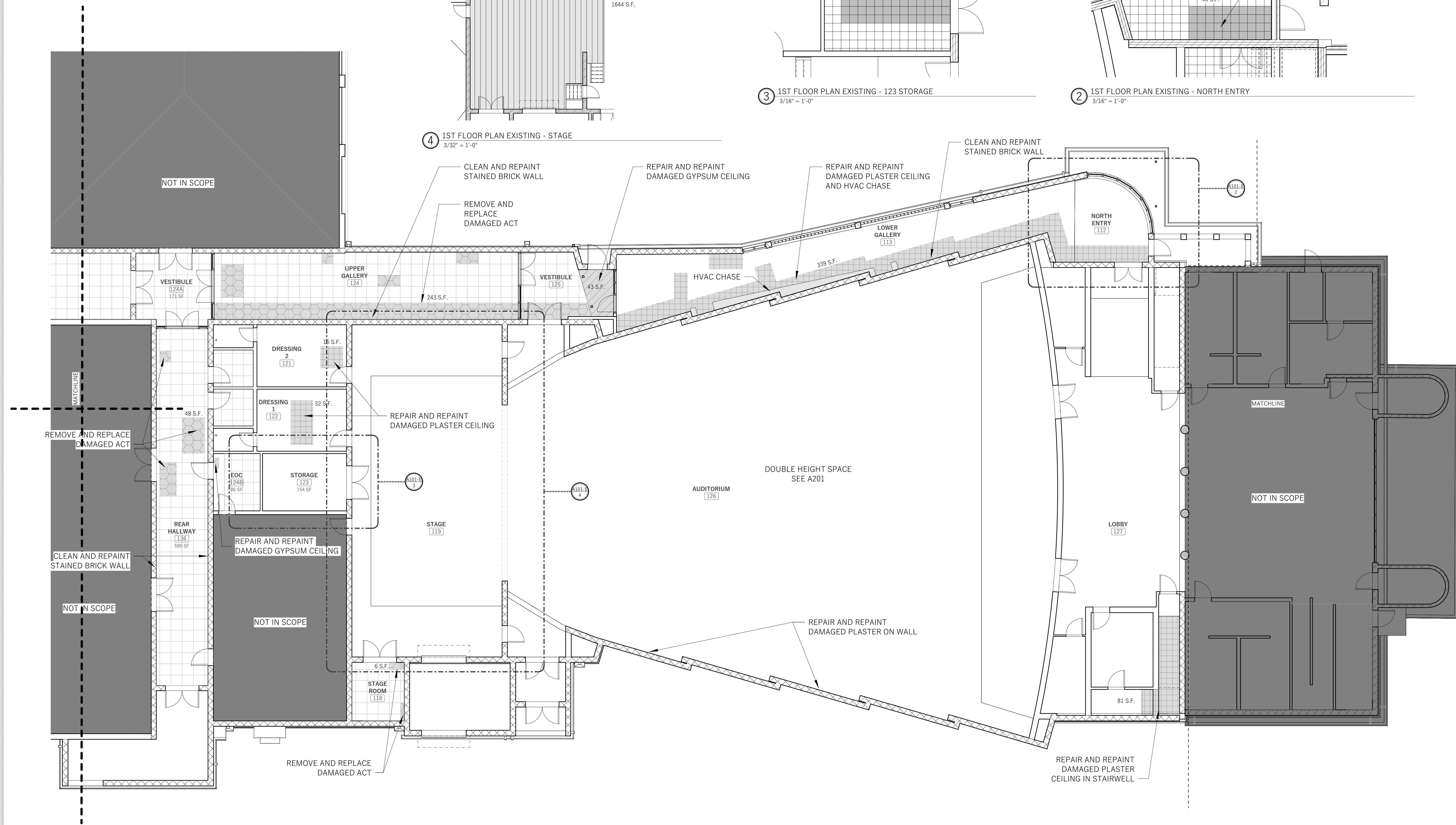
- NOTES
1.

INTERIOR FINISHES TO BE REPAIRED AFTER ROOF REPLACEMENT.
2.

CONTRACTOR TO PROVIDE UNIT COST FOR ADDITIONAL REPAIR, REPLACEMENT, REPAINTING, ETC. PER SPECIFICATION SECTION 012200.
3.

WHERE A REPAIR IS REQUIRED, CONTRACTOR TO PAINT THE ENTIRE CEILING/ WALL PLANE FROM CORNER TO CORNER, WALL TO WALL, CEILING TO CEILING.
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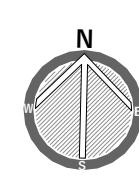


1 1ST FLOOR EXISTING RCP - AUDITORIUM
1/8" = 1'-0"

4 1ST FLOOR PLAN EXISTING - STAGE
3/32" = 1'-0"

3 1ST FLOOR PLAN EXISTING - 123 STORAGE
3/16" = 1'-0"

2 1ST FLOOR PLAN EXISTING - NORTH ENTRY
3/16" = 1'-0"



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STATE OF SOUTH CAROLINA

BERNARD M. MEADORS, III

REGISTERED ARCHITECT

Charleston, SC No. 9388

STATE OF SOUTH CAROLINA

MEADORS, INC.

REGISTERED ARCHITECTS

Charleston, SC 100192

WELDON AUDITORIUM RENOVATIONS

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FIRST FLOOR PLANS & RCP - EXISTING

A101-E

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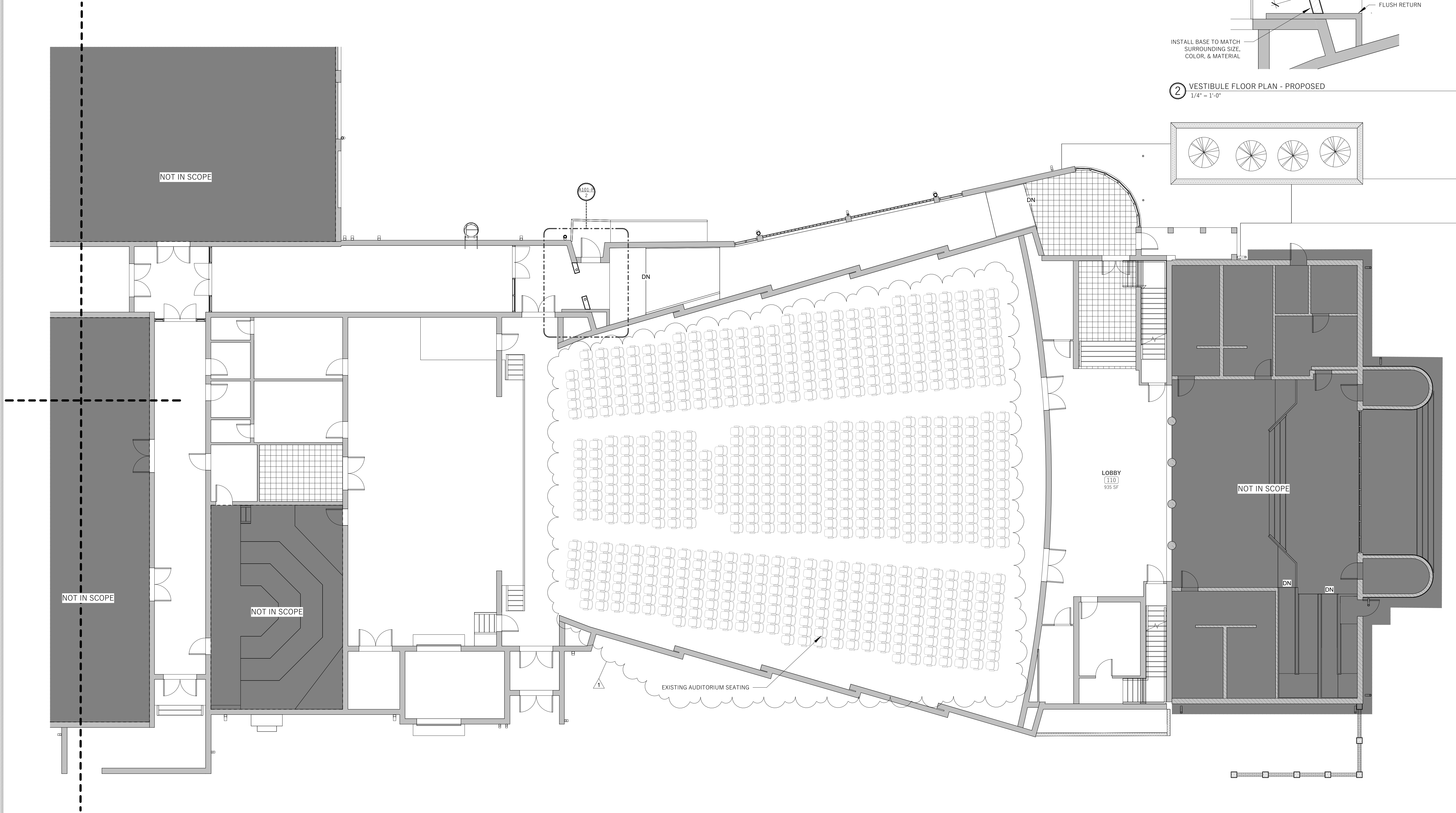
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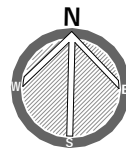
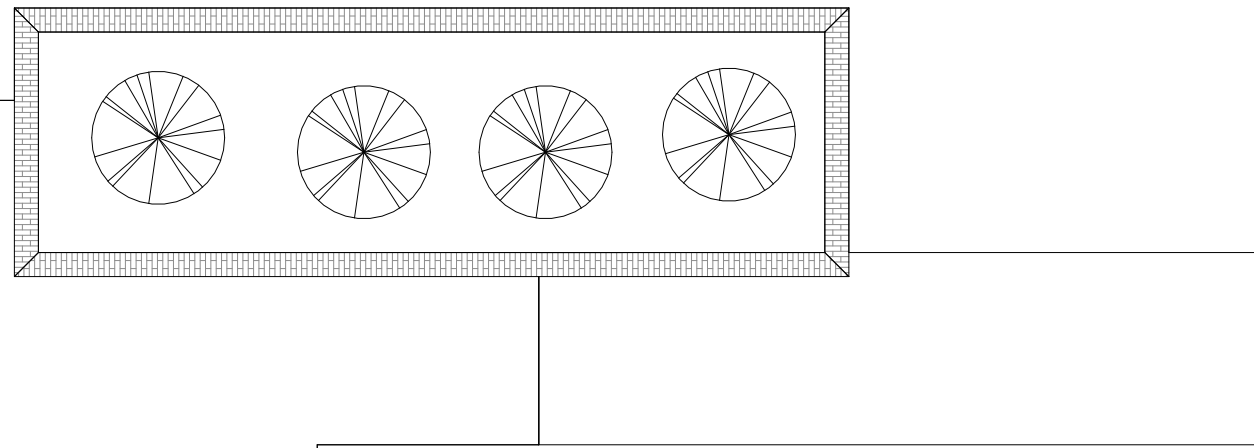
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1 PROPOSED FLOOR PLAN
1/8" = 1'-0"

2 VESTIBULE FLOOR PLAN - PROPOSED
1/4" = 1'-0"



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STATE OF SOUTH CAROLINA

JEREMY M. MEADORS

Charleston, SC

No. 9388

REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA

MEADORS, INC.

Charleston, SC

100192

REGISTERED ARCHITECTS

WELDON AUDITORIUM

RENOVATIONS

7 Maple Street

Manning, SC 29102

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FIRST FLOOR PLAN - PROPOSED

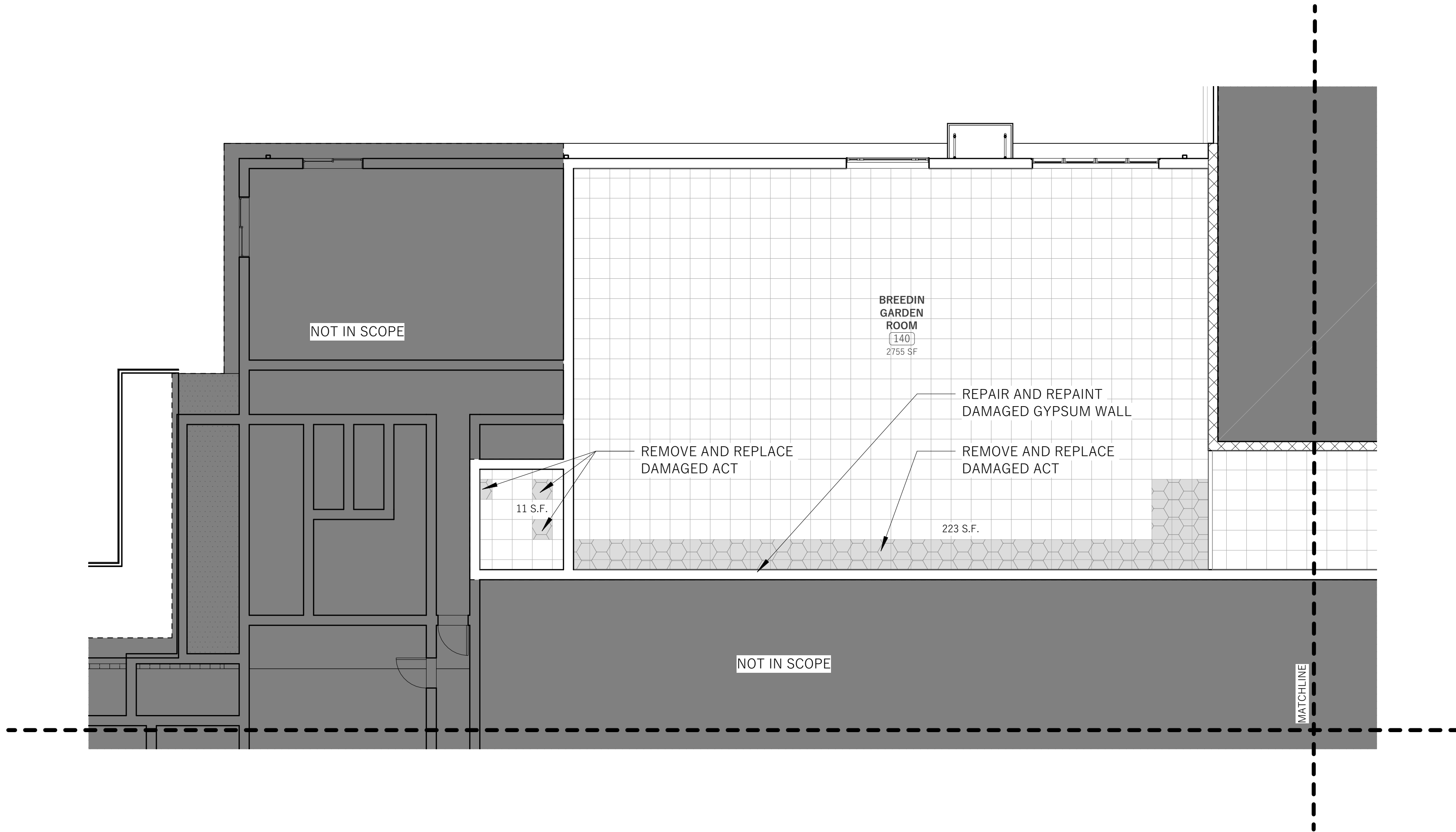
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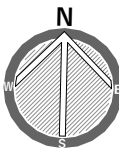
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1



1 1ST FLOOR EXISTING RCP - BREEDIN GARDEN ROOM
1/8" = 1'-0"

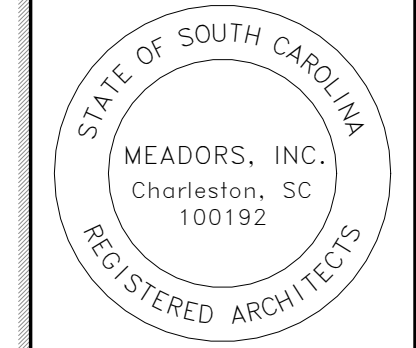


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WELDON AUDITORIUM
RENOVATIONS

7 Maple Street
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FIRST FLOOR
RCP - EXISTING

A102-E

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SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"X36"

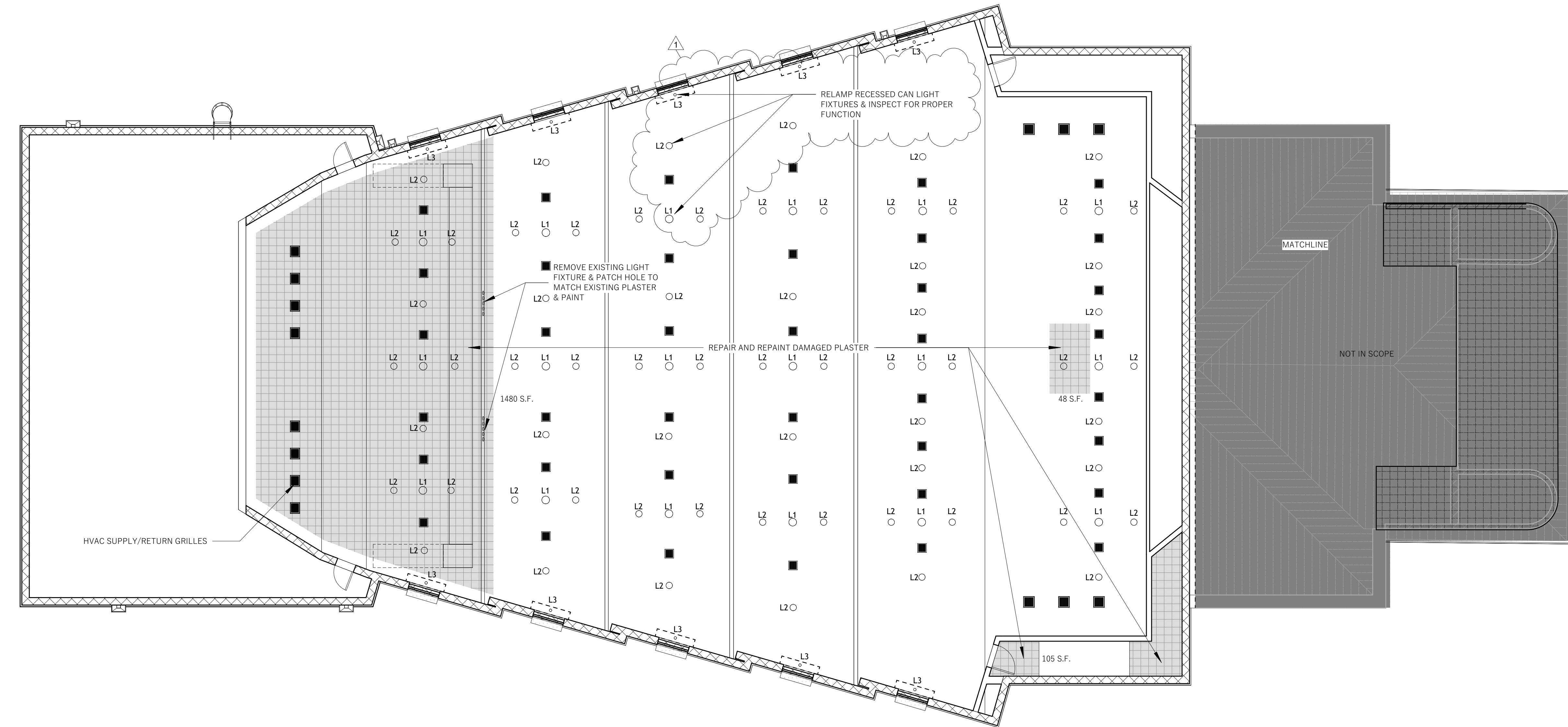
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1

1

LIGHTING SCHEDULE		
Type Mark	Description	Count
L1	12" Recessed Can Light	18
L2	10" Recessed Can Light	64
L3	4" Recessed Can Light	10



1 2ND FLOOR EXISTING RCP - AUDITORIUM
1/8" = 1'-0"



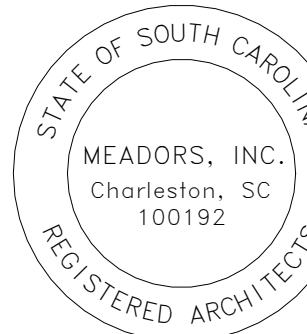
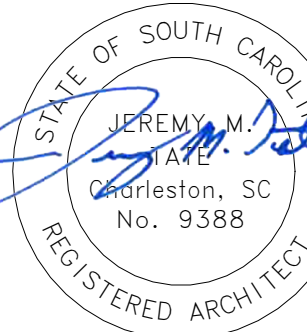
2 UNUSED PENETRATIONS IN AUDITORIUM CEILING
3" = 1'-0"

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WELDON AUDITORIUM
RENOVATIONS

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SECOND FLOOR
RCP - EXISTING

A111-E

HVAC SEALANT NOTES

To air seal HVAC vents, use mastic tape, foil tape, or fiberglass insulation to seal leaks and insulate ducts:

Mastic tape
Use water-based mastic because it's easier to clean up. Apply it with a paintbrush or caulk gun. For larger gaps, cover them with fiberglass mesh tape before applying mastic.

Foil tape
Use foil tape to seal longitudinal seams along straight duct runs.

Fiberglass insulation
Measure and cut fiberglass insulation to fit around the ducts, then wrap it around and secure it with foil tape.

Duct mastic
Apply duct mastic with a paintbrush to joints where elbows connect to ducts.

Foam Insulation:
Apply spray foam insulation fully around the intersection of ductwork to ceiling. Spray foam shall be a extend a minimum of 6" from duct on all sides and shall be minimum 6 inches thick.

General Notes - air sealing HVAC vents:
Don't use duct tape because it deteriorates quickly and doesn't provide a lasting seal.
Pay special attention to connections and joints, which are often the primary sources of leaks.
Don't forget to insulate ducts that are in attics, crawlspaces, unfinished basements, and garages.
Avoid using your HVAC system while the sealant is drying.
Test your work after the sealant has fully dried to check for any remaining leaks.

KEYNOTES

- M1** REMOVE EXISTING AND INSTALL NEW EQUALLY COMPLIANT UNITS.
- M2** TEMPORARY REMOVAL AND RESETING OF EXISTING UNITS.
- M3** REMOVE EXISTING ENCLOSURE; INSTALL NEW SHEET METAL ENCLOSURE FOR PIPING PER DETAIL 3, SEE SHEET A503
- M4** INSTALL NEW SHEET METAL ENCLOSURE FOR PIPING PER DETAIL 3, SEE SHEET A503
- M5** REMOVE AND REINSTALL EXISTING VENT PER DETAIL 3, SEE SHEET A502

EXISTING HVAC UNIT NOTES:

- RTHP-1: 15 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- RTHP-2: - 15 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- RTHP-3: 15 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- RTHP-4: 15 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- RTHP-5: 10 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- RTHP-6: 10 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- RTHP-7: 10 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- RTHP-8: 2 TON PACKAGE UNIT (3 PHASE) ON RAISED CURB ADAPTER
- CU-1: MINI SPLIT SYSTEM ON RAISED CURB ADAPTER - DATA PLATE UNAVAILABLE
- CU-2: 2 TON MINI SPLIT SYSTEM ON RAISED CURB ADAPTER
- CU-3: MINI SPLIT SYSTEM ON RAISED CURB ADAPTER - DATA PLATE UNAVAILABLE
- CU-4: MINI SPLIT SYSTEM ON RAISED CURB ADAPTER - DATA PLATE UNAVAILABLE
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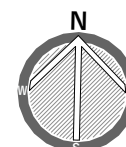
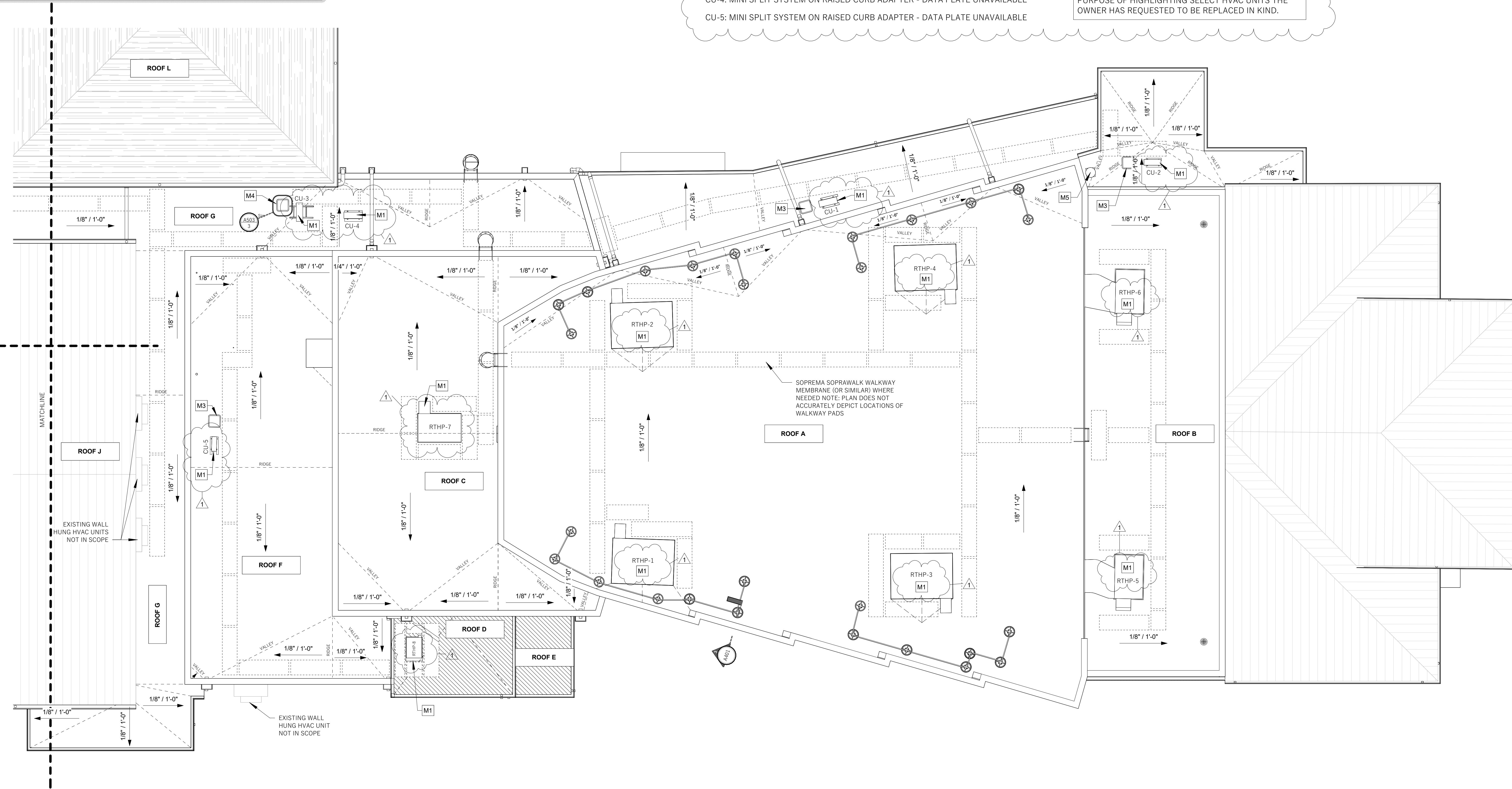
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- SINGLE-PLY MEMBRANE ROOF (EXISTING)
- SINGLE-PLY MEMBRANE ROOF (NEW)
- METAL STANDING SEAM ROOF

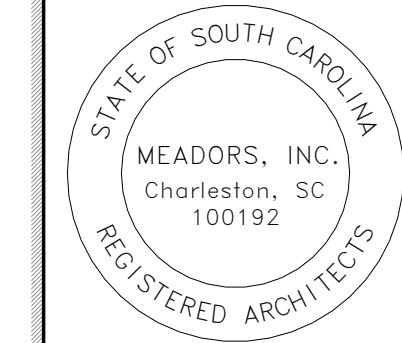
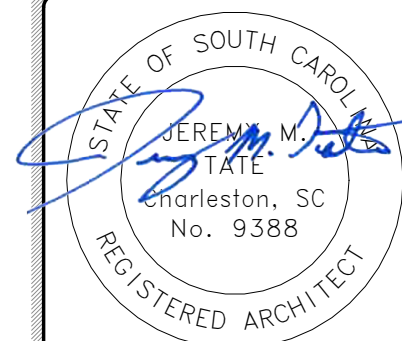


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RENOVATIONS

7 Maple Street
Manning, SC 29102

PERMIT

PROJ. NO. 21-0053
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PROPOSED
ARCHITECTURAL
HVAC PLAN

M1

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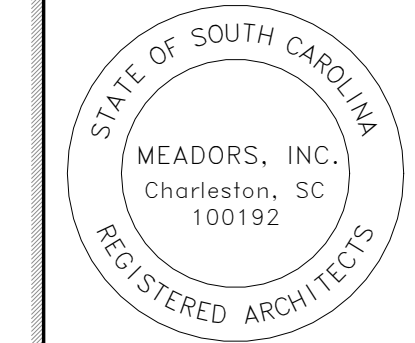
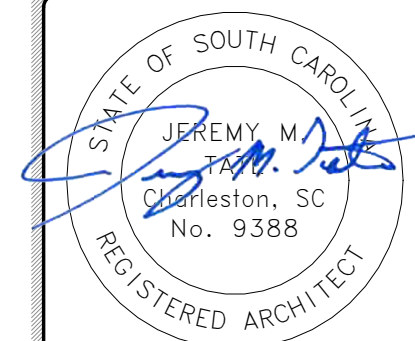
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1 PROPOSED HVAC PLAN - BREEDIN GARDEN ROOM
1/8" = 1'-0"

MEADORS

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RENOVATIONS

7 Maple Street
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PERMIT

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1	3.21.2025	HVAC, SHEET LIST, & SCOPE UPDATE

PROPOSED
ARCHITECTURAL
HVAC PLAN

M2

DATE: Tuesday, March 18th, 2025, 10:00 AM

SUBJECT: Weldon Auditorium Renovations (Meadors Project No.21-0024, ITB No. 2024-014)
Pre-Bid On-Site Meeting

AGENDA ITEMS:

A. INTRODUCTIONS

1. Architects: Meadors, Inc.
 - a. Jeremy Tate, AIA
 - b. Autumn Hinson
2. Owner: Clarendon County
 - a. Jeff Hyde, Procurement Director
 - b. Thomas Barrineau, Facilities Manager
3. Engineers (Not in Attendance)
 - a. Michael H. Hance, PE LLC; Structural Engineer
4. Sign-In Sheet for Attendees

B. PROCUREMENT SCHEDULE

- Monday, March 3, 2025: Bidding period begins
- Tuesday, March 18, 2025: Pre-bid meeting on site at 10:00 a.m.
- Monday, March 31, 2025: Deadline for questions by 1:00 p.m.
- Tuesday, April 08, 2025: Bid due by 2:00 p.m.
 - Voter Registration and Elections Building - Procurement Office, 3 South Church St, Manning, SC, 29102
- Monday, April 21, 2025: Bid accepted (tentatively)
- Construction Start: June 2025

C. SUMMARY OF SCOPE

1. The scope of work includes but is not limited to the items described below as well as other Work indicated in the Contract Documents.
 - a. Removal of existing roof material down to roof deck; installation of new roofing system; removal of all concrete & metal parapet caps; extend parapet wall in areas noted on the drawings; installation of new metal parapet caps; installation of new gutters, conductor heads, and downspouts; masonry repairs, cleaning, repointing, and water repellent installation; flash reentrant roof to wall corners; framing for new HVAC shroud around exposed ductwork; rework of existing rooftop pipe chase housings relative to HVAC units and electrical conduits to provide a watertight envelope; removal of existing HVAC units and installation of new equally compliant HVAC units; repair/repaint existing attic vents; repair/repaint existing exterior attic access door; removal of existing roof access ladders and installation new wall mounted roof access ladders, including one from grade with security provisions; repair work at existing infill windows consisting of the removal

of existing exterior EFIS finish down to metal framing, installation of new steel lintels over infill windows, installation of new cementitious siding with new sheathing and weather barriers; replace all auditorium ceiling light fixtures with LED equivalent fixtures; redeck existing attic catwalk; install OSHA compliant railing to attic catwalk; scope existing drainage lines in courtyard; install new drainage lines in courtyard; armor existing drainage channel with concrete and removal of small portion of non-structural brick partition wall to install new metal gate to match existing in courtyard; install new awning at courtyard door; repair/repaint interior plaster ceilings where damaged; repair/repaint gypsum ceilings where damaged; remove/replace damaged VCT flooring; interior framing and gypsum wall to conceal steel portal frame; remove/replace damaged ACT; and general cleaning on all exterior and interior scope of work surfaces.

D. PROJECT DETAILS

1. See additional Project Documents
 - a. 2025.03.03 Project Manual – Weldon Auditorium Renovations Vol 1-3 – signed
 1. Field Investigation Report – Elkin Engineering
 2. Weldon Auditorium Assessment Report – Meadors Conservation
 3. Weldon Auditorium Courtyard Survey – GEL Engineering
 4. Comprehensive Asbestos & Lead Inspection Report – GEL Engineering
 - b. 2025.01.31 Permit Set – Weldon Auditorium Renovations – signed

E. TOPICS REVIEWED

1. Refer to specifications section 002513 “Prebid Meeting” for individual topics that will be reviewed.

F. STRUCTURAL REPAIRS

1. Review scope of structural repairs to the building – refer to Michael H. Hance, PE LLC

G. QUESTIONS

1. Deadline for questions (in writing) shall be submitted by 1:00 p.m., local time on March 31, 2025, to Jeff Hyde, jhyde@clarendoncountygov.org

H. ADDENDA

1. Addenda will be issued every Friday by 2pm via email until the process is complete.

Thank you,
 Jeremy Tate and Autumn Hinson
Meadors, Inc.



Date: 03/18/2025

Time: 10:00am

Company Name & Address	GC or Sub	Representative (Print Name)	Signature	Phone/Fax	Email
Quality Service Comp. 2208 National Ave. Florence, S.C. 29501	sub	Gene Floyd	<i>Gene Floyd</i>	(803) 825-9588	gene@qualityservicecompany.net
EBS	Sub	Jacob Hiers	<i>Jacob Hiers</i>	843-509-3800	jhiers@extbuildingsservices.com
EBS	SUB	EDUARDO MARTINEZ	<i>Edu Martinez</i>	(843) 810-7250	emartinez@extbuildingsservices.com
Stone Restoration	GC	Kris Kulac	<i>K Kulac</i>	843-708-4246	kkulac@stoneres.com.
Spann Roofing	GC	Dylan Green	<i>Dylan Green</i>	843-855-2872	dydun@spannroofing.com
Gilbert Construction	GC	Josh McKenzie	<i>Josh McKenzie</i>	843-669-3423	Josh@GilbertConstruction.com
Brantley Construction	GC	Christian McLaughry	<i>Christian McLaughry</i>	843-552-0150	christha@BrantleyConstruction.com
ABC SUPPLY CO	Supplier	Marshall Freeman	<i>Marshall Freeman</i>	843-232-2146	Marshall.Freeman@abcSUPPLY.COM
JF Contractors	GC	Jonathan Houston	<i>Jonathan Houston</i>	803.464.0503	jhouston@jfcontractors.com
Soprema	Supplier	Matt Greco	<i>Matt Greco</i>	704.918-6232	Mgreco@Soprema.US
Soprema	Supplier	Dustin Holland	<i>Dustin Holland</i>	864-875-0466	d holland@Soprema.US
Zeman HVAC	Sub	Alan Zeman	<i>Alan Zeman</i>	843-423-2460	Zeman Electric ref @ bellsouth.net
Rocko Inc.	Sub	Swanmiles	<i>Swanmiles</i>	843-464-4405 843-775-8560	rocko@rockosumtr.com
Force Electrical	sub	Steve Glass	<i>Steve Glass</i>	843-468-7256	forceelectrical11c@gmail.com
KEATING RFG	SUB	Will Fort	<i>Will Fort</i>	803/983-0640	WFORCESKOUTROOFING.COM



Date: 03/18/2025

Time: 10:00am

Company Name & Address	GC or Sub	Representative (Print Name)	Signature	Phone/Fax	Email
Exterior Building Services LLC	GC	Chance Lamb		843-901-2311	clamb@extbuilding.com
Southern Roofing Santa SC	Roofing	Mikey Bozeman		803-983-2843	Mikey@SouthernRoofing.com
Quality Service Co. Florence, S.C.	Sub	LARRY POWELL		843-496-2906	L.Powell@qualityservicecompany.net
IP Builders Walterboro, SC	GC	Joseph Padgett		843-599-4011	joseph@ipbuilders.net
PHG, LLC	Sub	Mike Barman		803-729-9444	MAIBURMAN@phgllc.com
SOLID STRUCTURES	GC	BOB BARTHOLOMEW		803 520 0127	ESTIMATING@SOLIDSTRUCTURES.INFO
Rike Roofing SUS	Roofing	Adam Peterson		803 833 2296	adam@RikeRoofing.com
Force Electrical	Sub	Steve Glass		843-468-7256	ForceElectricalLLC@gmail.com
Clayton Hardee	GC	Hardee Construction Company		803 983 1985 803 469 9787	ClaytonHardee@hardeecorstruction.com